



PLANNING COMMISSION – REGULAR MEETING

Township Board Room – 8555 Kalamazoo Ave SE, Caledonia, MI 49316

DRAFT Agenda

7:00 p.m. – Thursday, April 23rd, 2026

1. Call to Order and Roll Call
2. Consideration of Agenda
3. Consideration of **March 26th, 2026**, Meeting Minutes
4. Inquiry of Conflict of Interest
5. Public Comment
6. Items for Consideration
 - A. 3805 92nd Street SE – Major Condominium (Open Space Development Option) and Site Plan Review – Caledonia Meadows
7. General Discussion
8. Adjournment

DRAFT Minutes of the Gaines Charter Township Planning Commission

Regular Meeting held March 26th, 2026, at 7 pm

8555 Kalamazoo Ave., SE, Caledonia, MI 49316

MEMBERS PRESENT: Rober, Haagsma, Billips, Wiersema, Thomas

MEMBERS ABSENT: Giarmo and Waayenberg, with notice.

STAFF PRESENT: Dan Wells, Community Development Director; Dakota Swan, Assistant Planner

1. CALL TO ORDER AND ROLL CALL

Chair Giarmo called the meeting to order at 7:01 PM.

2. CONSIDERATION OF MEETING AGENDA

The agenda was approved as presented.

3. CONSIDERATION OF MEETING MINUTES

Consideration of the February 26th, 2026, regular Planning Commission meeting minutes.

Motion:	Motion by Thomas, supported by Haagsma to approve the minutes of February 26 th , 2026.
DISCUSSION:	None.
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

4. INQUIRY OF CONFLICT OF INTEREST

None.

5. PUBLIC COMMENT

Taylor Rieder of 7522 Carpet Rose Drive expressed her concerns pertaining to a proposed rezoning requested by Microsoft for a data center at the northwest corner of Patterson Avenue and 76th Street. Rieder explained that as a mother she is concerned about adverse effects on quality of life for residents in the area and students at the nearby elementary school.

Stephanie Pratt of 4642 76th Street expressed similar concerns, noting that she does not believe a data center is compatible with the neighborhood character in the area and that she is very concerned about the long-term effects that may arise from chronic exposure to vibrational sounds. Pratt encouraged the Planning Commission to consider a moratorium on data centers and to consider an update to the Zoning Ordinance to further restrict noise emissions and increase setback requirements.

Tony Mauer, a former resident of Gaines Charter Township, expressed his concerns regarding the proposed rezoning, including a lack of job opportunities associated with the project. Mauer stressed that he would like to see Microsoft serving the Township rather than the Township serving “big tech”.

6. ITEMS FOR CONSIDERATION

A. Public Hearing; 6875 Hammond Avenue SE – Rezoning from Suburban Residential to Village Residential

Motion:	Motion by Haagsma, supported by Billips to open the public hearing.
DISCUSSION:	None.
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

No comments were made.

Motion:	Motion by Wiersema, supported by Haagsma to close the public hearing.
DISCUSSION:	None.
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

Brett Elder, the homeowner of 6875 Hammond, explained that he is seeking a rezoning of his property from Suburban Residential (SR) to Village Residential (VR) with the intention of dividing and selling the property as two buildable lots.

Planner Wells explained that Elder currently has frontage on Hammond but ideally would like the resultant parcel of a future split to have frontage on Dutton Avenue as well. A rezoning to VR would satisfy the dimensional requirements for lots in the Zoning Ordinance, and the property is future zoned for Village Residential use. Wells noted that the request satisfies all standards of approval from Section 31.40 of the ordinance, noting that the only viable use on this parcel would be residential, as it would

not meet the dimensional requirements necessary to sustain a permitted institutional use. Wells also noted that the parcel has public sewer service but not water, however, the Township is working on bridging a gap in water service in the neighborhood which will eventually connect the property to public water.

Commissioner Wiersema inquired about where sewer lines currently run; Wells responded that there is sewer in both Dutton Avenue and Hammond Avenue, but there is a gap in water service. Wells explained that this is because several houses in the area used wells in the past, and over time the Township has been working in a piecemeal fashion to connect residents in the neighborhood to water service.

Motion:	Motion by Haagsma, supported by Thomas to make a positive recommendation to the Township board for the rezoning of 6875 Hammond Avenue from Suburban Residential to Village Residential.
DISCUSSION:	None.
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

B. 2096 76th Street SE – 4 to 1 Ratio Wavier

Bruce VanderVennen spoke on behalf of his father Jack VanderVennen, who is the homeowner and applicant for this request. VanderVennen explained that his father owns 38 acres of land and wishes to divide it to sell a piece of land to his granddaughter while preserving the remaining acreage for farming, however, the parcel they desire to create does not satisfy the dimensional requirements for lots in the Gaines Charter Township Zoning Ordinance.

Planner Wells noted that the existing parcel is already noncompliant with the required 4 to 1 ratio, which is permitted by state law but prohibited at the township level without a wavier. The proposed split would bring the parcel further out of compliance with the 4 to 1 ratio, however, there is still enough room for a 66-foot-wide right-of-way to be established should future development occur down the line. The Township anticipates that water and sewer service, which will enable suburban development, will be available in this area in the distant future. Although the applicant has no intention of developing the property at this time, the request for a 4 to 1 ratio wavier will not be prohibitive to future development efforts by a future owner.

Commissioner Wiersema expressed satisfaction that the proposed land division would still leave enough width to establish a right-of-way down the line.

Commissioner Haagsma sought clarification on which existing conditions will end up on the original parcel, and which elements are anticipated to remain on the new parcel; VanderVennen responded that the existing outbuildings will remain on the lot with the dwelling, however, the existing driveway and

easement will be on the new parcel. Planner Wells noted that the proposed division does not isolate any accessory buildings on parcels without primary uses/structures.

Commissioner Haagsma inquired about what the implication would be if the remnant parcel with the driveway ever fell under different ownership than the new parcel; Planner Wells responded that if either parcel were ever intended to be divided, a compliant road would have to be built to access future lots. Haagsma noted that he does not have any concern with the ratio wavier itself however, he is concerned with whether the position of a future driveway would be problematic. Ultimately, the Kent County Road Commission will be responsible for overseeing and approving any future roadway improvements and/or newly created roads and driveways.

Commissioner Wiersema inquired about whether a motion to approve this request would warrant any conditions; Planner Wells explained that conditions would not be necessary to approve the request, as the land division itself would be an approval by right, with issuance of a 4 to 1 ratio wavier.

Motion:	Motion by Wiersema, supported by Billips to approve the 4 to 1 ratio wavier associated with a proposed land division at 2096 76 th Street SE.
DISCUSSION:	None
AYES:	All
NAYS:	None
ABSTAIN:	None
DECISION:	Motion Carried (5-0)

C. 410 76th Street – Concept Plan

Planner Wells explained that there is interest in developing 410 76th Street into a residential development with duplex units that feature large garages, specifically to store RV's. The only mechanism to allow for this type of development would be to rezone the property from Suburban Residential to Multiple Family Residential to achieve their vision, due to the amount of duplex units the developer would be proposing. Wells noted that the developer wanted to informally present their idea to the Planning Commission to get a read on whether they would be amendable to a rezoning. Wiersema and Rober both expressed that they would likely lean against a rezoning to MFR, as this zoning district is such a stark difference from the current SR zoning designation.

D. 2025 Annual Planning & Zoning Report

The Michigan Planning Enabling Act requires the Planning Commission to make a written report to the legislative body (Township Board of Trustees) outlining the operation and status of planning activities.

Assistant Planner Swan gave a brief overview of changes to categorizations within the report, specifically regarding housing data, which are in more alignment with the updated Zoning Ordinance.

Planner Wells noted that less building permits were issued in 2025 than in the previous year.

Motion: Motion by Haagsma, supported by Wiersema to approve the 2025 Annual Planning and Zoning Report, with corrections.

DISCUSSION:

AYES: All

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

7. GENERAL DISCUSSION

Planner Wells noted that April 15th will be the special Planning Commission meeting to consider a rezoning request submitted by Microsoft. The meeting will be held in the auditorium at South Christian High School at 6PM.

8. ADJOURNMENT

Motion: Motion by Haagsma, supported by Thomas, to adjourn at 7:56 PM.

DISCUSSION: None.

AYES: All

NAYS: None

ABSTAIN: None

DECISION: Motion Carried (5-0)

CERTIFICATION:

I hereby certify that the above is a true copy of the minutes from the March 26th, 2026, Planning Commission Meeting of the Gaines Charter Township Planning Commission held at the time and place mentioned above pursuant to the required statutory procedures.

Respectfully submitted,

Lani Thomas,

Secretary

Gaines Charter Township Planning Commission

Date: _____



PLANNING COMMISSION

Meeting Date: April 23rd, 2026

AGENDA ITEM: 6.A

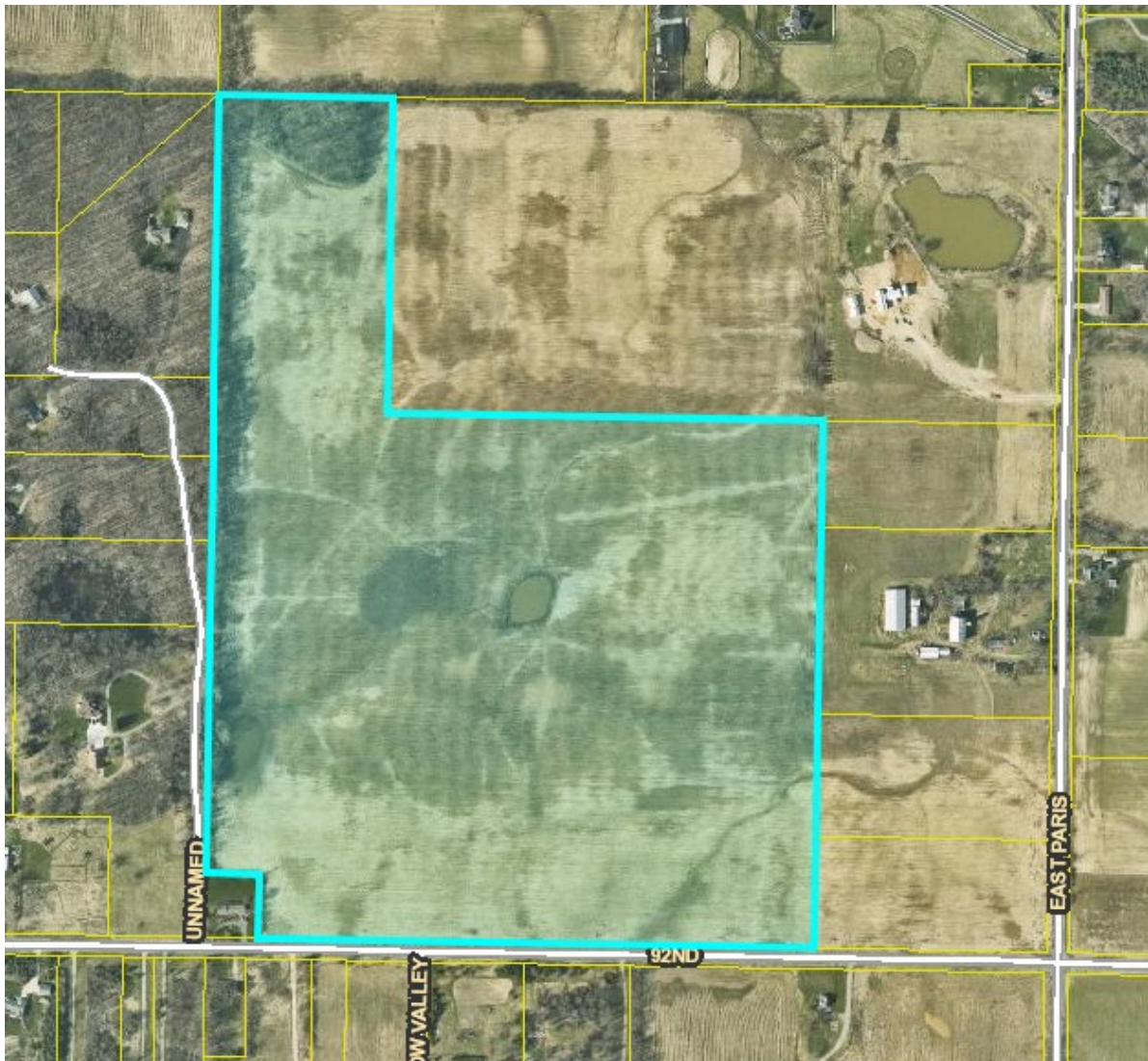
APPLICANTS: DHS Holdings LLC; DAS Holdings LLC

REQUEST: Site Plan Review; Preliminary Major Condominium (Open Space Development Option)

ZONING AND PROPERTY SIZE: Agricultural/Rural Residential (ARR), Ca. 83 acres

ADDRESS: 3805 92nd Street SE

REPORT BY: Dakota Swan, Assistant Planner



OVERVIEW:

The applicant is requesting to develop a residential site condominium project with 30 single-family units using the Open Space Development option. This allows for a reduction in parcel size in exchange for permanent preservation of 58% of the overall project area. The development is planned to be served by a private road and stormwater management system, with individual wells for each property, and a community septic system. The application also includes provisions for open space amenities including a walking path, a playground and picnic area, and approximately 20 acres of tillable land to be used for agricultural purposes.

The applicant, DHS Holdings LLC & DAS Holdings LLC, last sought consideration from the Planning Commission in October of 2024. The site plan has been modified since then, in addition to the request itself; previously the developer was seeking PUD rezoning for this project, however this iteration of the application is requesting site plan approval and a major condominium using the Open Space Development option.

The applicant has submitted a draft version of a proposed Master Deed for the condominium, which is currently under review by the Township’s legal counsel.

SURROUNDING ZONING:

	NORTH: Agricultural/Rural Residential (ARR)	
WEST: Agricultural/Rural Residential (ARR)	SUBJECT PARCEL	EAST: Agricultural/Rural Residential (ARR)
	SOUTH: Agricultural/Rural Residential (ARR)	

PROCESS:

The request for a preliminary major condominium is subject to the following process:

1. Submittal by applicant (Section 25.20 A-C)
2. Completeness review by Zoning Administrator (25.20 D)
3. If complete, administrative review by Zoning Administrator
4. Review and recommendation by the Planning Commission (Section 25.50)
5. Review and decision by the Township Board
6. A final condominium plan shall be submitted within one (1) year of approval unless a one (1) year extension is approved by the Township Board

The request for site plan review is subject to the following process:

1. Submittal by applicant (Section 25.20 A-C)
2. Completeness review by zoning administrator (25.20 D)
3. If complete, administrative review by Zoning Administrator
4. Review and decision by the Planning Commission (Section 25.50)

STANDARDS OF REVIEW:

The request for an Open Space Development is subject to review against the requirements of Section 4.30 of the Gaines Charter Township Zoning Ordinance, "Open Space Development Option". The request for site plan approval is subject to review using standards outlined in Chapter 26 of the GCTZO, "Site Plan Review". The request for preliminary major condominium is subject to review against all applicable standards of approval from Section 28.40, "Major Condominium Review Process".

CHAPTER 4: AGRICULTURAL RURAL-RESIDENTIAL DISTRICT**Section 4.30.H – Open Space Development Option, Standards for Open Space**

- 1. Reasonable Use. A portion of the open space shall be reasonably usable by the residents of the land for passive recreational uses, such as hiking or picnicking, and may include: a recreational trail, picnic area, children's play area, greenway, linear park, an agricultural use, or other use which the Planning Commission determines is substantially similar to these uses.**

Meets standard. The provided site plans indicate that a walking path will be provided towards the north end of the property, which will circle around and encompass a passive recreational area. Although the septic drain field is adjacent to the walking path and passive recreational area, the area of said infrastructure was omitted from open

space calculations. There is also a playground/picnic area planned to be located at the end of the cul-de-sac, just to the southeast of the proposed location of the drain field. In addition to these features, the developer has noted that the ca. 20 acres of open space to the east of the proposed homes is tillable land which will be available for agricultural enterprises.

- 2. Access and Rules. The open space shall be available for all residents of the development, subject to reasonable rules and regulations, and shall be located to provide reasonable access to all residents. Safe and convenient pedestrian access points from the interior of the development shall be provided. The open space may, but is not required to be, dedicated for public use.**

Meets standard, condition recommended. The open space to the north of the home sites will be accessible via a 5-foot-wide sidewalk which runs along the interior perimeter of the cul-de-sac on both sides of the street. The applicant has specified that the 5-foot-wide walking path which circles the passive recreational area is planned to have a gravel surface; staff recommends the material be changed to a hard-surface path to provide adequate accessibility for all forms of pedestrian mobility.

- 3. Waterfront Priority. If the land contains a lake, stream, or other body of water, the Planning Commission may require that a portion of the open space abut the body of water.**

Not Applicable. The site features a number of unregulated wetlands and one patch of regulated wetlands on the eastern edge of the property. Besides these designated areas, the only other bodies of water are proposed detention basins, which abut the proposed open space to the north but are inaccessible from the proposed walking path.

- 4. Significant Natural Resources. Open space shall be located to preserve significant natural resources, natural features, scenic or wooded conditions, bodies of water, wetlands, or agricultural land.**

Meets standard. The proposed open space preserves several patches of unregulated wetlands and encompasses Ca. 20 acres of tillable land to be used for agricultural purposes. The tree lines along the northern and western property lines will largely remain untouched with the exception of minimal removal which will occur on the western property line to accommodate the stormwater basins.

- 5. Screening of Street Frontage. As possible, a portion of the open space shall be located along the public street frontage abutting the land to help reduce the view of homes from the adjacent roadway and to preserve the rural character.**

Meets standard. The provided site plan indicates a 50-foot-wide buffer between the side yards of lots 1 and 30 and the 92nd Street right-of-way. The landscaping plan dated 03/26/2026 indicates that 49 trees will be planted in the buffer zone which is anticipated to adequately buffer the view once trees mature. The landscaping plan specifies that mature trees within the Consumers Energy easement will not exceed 20 feet in height.

- 6. Connectivity. To the extent feasible, open space shall be linked with adjacent open spaces, public parks, bicycle paths, and pedestrian paths.**

Not applicable. No public parks or trails are currently within the vicinity of the proposed development.

Section 4.30.I – Development Requirements

- 1. Structures within Open Space. Designated open space areas shall not contain structures, except as may be specifically authorized by the Planning Commission upon determining the structure is accessory to the function of the open space. Examples of structures that may be authorized include park or playground equipment, gazebos, or agricultural structures.**

Meets standard. The only structures proposed to be within the open space portion of the development are the playground equipment and walking path.

- 2. Compliance with Zoning District. Development under the open space preservation option shall comply with all requirements of this Ordinance and the zoning district in which the land is located, except setback, width, and area requirements, which may be modified to achieve the purpose of preserving open space.**

Undetermined. The ARR zoning district contains provisions for rural residential development and agricultural enterprises, both of which are being proposed with the application. The applicant is requesting modifications to dimensional requirements with the request for an Open Space Preservation plan, which are outlined below.

Dimensional Requirement	Required in GCTZO	Proposed
Front setback	60 feet	30 feet
Side setback	15 feet	10 feet
Rear setback	50 feet	30 feet
Maximum building height	35 feet	35 feet

The Planning Commission must decide if the proposed modifications are reasonable. Staff notes that the requested front and rear setbacks are lesser than setback requirements in the Suburban Residential zoning district.

- 3. Uniform Lot Size. All residential lots in the developed portion of the site shall be as uniform in area as reasonably practicable, unless otherwise approved by the Planning Commission.**

Meets standard. The average lot size across all 30 proposed home sites is 29,439 square-feet, with the smallest proposed lot being 24,575 square-feet and the largest proposed lot being 45,399 square-feet. Staff finds that the lot sizes are relatively uniform in area; the two northernmost home sites are larger than the average and the home sites to the west are generally larger than those on the east side of the proposed road, however, staff does not find the differences in lot size to be stark or prohibitive to a uniform neighborhood character.

- 4. Building Envelopes. The location and area of building envelopes shall be established to achieve the intent and purpose of the zoning district in which the land is located, maximize the available open space, preserve existing natural features, and retain the rural character of the Township to the extent possible.**

Meets standard. Staff finds that the proposed development adequately balances open space preservation and uniform lot size. Natural features such as wetlands and trees are preserved to the best of the applicant's ability. Staff finds that outside of the house lots, the rural character of the Township is preserved to the best of the applicant's ability due to the large portion of land set to be used for agricultural purposes, the buffer to the south and west, and the preservation of wetlands and woods.

5. **Required Frontage.** Each lot shall have a minimum of 30 feet of frontage measured at the road right-of-way or easement line.

Meets standard. The smallest proposed lot frontage of the 30 home sites is 72 feet.

6. **Lot Width.** Each lot shall have a minimum width equal to at least one-half the width required for the zoning district in which the land is located, unless otherwise approved by the Planning Commission.

Meets standard. In the ARR zoning district a minimum lot width of 200 feet is required; the smallest proposed width of the 30 home sites is 100 feet.

7. **Non-Dwelling Unit Structures.** Lots containing non-dwelling structures, such as a clubhouse and accessory building or related amenities, shall be subject to all requirements of this section applicable to lots containing dwellings and all other requirements of this Ordinance and other Township ordinances. However, the Planning Commission may, in its discretion, permit the enlargement of a lot containing a non-dwelling structure to reasonably accommodate it.

Not applicable. The site plan does not indicate any non-dwelling unit structures within any common element parcels.

8. **Grading.** Grading within the development shall comply with the requirements outlined in Section 4.30.I.8, which require grading to not disturb open space, to preserve the natural appearance of the land, and to be carried out in a manner which avoids erosion, pollution, flooding, or any other adverse effects.

Meets standard. The proposed grading plan appears to be relatively unobtrusive and preservation-forward, with the intention of causing as little disturbance to the land as possible. All grading plans are subject to final review and approval by the Township Engineer.

CHAPTER 26, SITE PLAN REVIEW

Section 26.40 – Site Plan Standards of Approval

- A. **Zoning Compliance and Compatibility.** Site plan proposals shall conform to all zoning district requirements (Chapters 4 to 13, as applicable), land use regulation (Chapter 15), building requirements (Chapter 16), general requirements (Chapter

17), and any applicable specific use requirements (Chapter 18). If necessary, variances shall be secured prior to the Planning Commission's approval (Chapter 30). Site planning shall consider both zoning compliance and compatibility with adjacent properties and land uses. All uses, structures, and buildings will fully comply with this Ordinance and all other applicable Township ordinances.

Meets standard. Please reference staff comments from §4.30.I.2.

B. Lighting. Lighting plans shall demonstrate compliance with all requirements and shall be designed to ensure safe conditions and minimal impact on neighboring properties and the night sky (Chapter 19).

Meets standard. The site plan indicates that three light poles will be constructed along the right-of-way, which are planned to have a mounting height of 15 feet. The provided photometric plan dated 4/7/2026 demonstrates compliance with the requirements of Chapter 19; all fixtures are fully cut-off and down lit, color temperature will not exceed 2,700K, and the lighting plan maintains 0 fc at property lines.

C. Parking and Loading. Parking lot design shall demonstrate compliance with all dimensional and circulation requirements and shall be arranged to provide safe and convenient access to buildings and land uses (Chapter 20). If applicable, stacking and loading spaces shall be designed to minimize the impact on internal circulation routes and offsite traffic patterns.

Meets standard. Each home site will be served by a driveway, which must satisfy the requirements of Section 22.30 prior to issuance of any certificates of occupancy, as per GCTZO §22.20.

D. Mobility, Traffic, and Access. Pedestrian and bicycle travel shall be accommodated in accordance with this Ordinance (Section 21.20). Acceptable traffic conditions shall be maintained (Section 21.30). Driveway placement, connectivity, and shared access shall be designed to promote safe and efficient access to and from the site and circulation within the site. Compliance with access management requirements shall be demonstrated (Section 21.40). All sites and buildings shall be accessible to emergency service vehicles and personnel to respond to emergencies and calls for service. Streets and driveways shall conform to the requirements of Chapter 22.

Meets standard, condition recommended. A 5-foot-wide sidewalk is planned to be constructed along the private road, on both sides of the street, which will be conducive to pedestrian movement within the development. No sidewalks are currently existing on 92nd Street adjacent to the development, however, the Township Engineer's review dated 04/15/2026 indicates a recommendation that the developer install sidewalk along the 92nd Street right-of-way. Final plans are subject to review by the Gaines Charter Township Fire Department to ensure adequate emergency access.

E. Landscaping, Screening, and Environmental Protection. All applicable landscaping, buffering, screening, and environmental requirements shall be satisfied (Chapter 23), and sites shall not be significantly disturbed in ways beyond what is appropriate for the reasonable development of a site. Site plans shall demonstrate that the impact of exterior uses and activities is minimized by required landscaping and screening.

Meets standard. The provided landscaping plan dated 03/26/2026 indicates that one deciduous street tree will be planted per home site, 50% of which will be native to Michigan. The proposed landscaping along the frontage on 92nd Street satisfies the requirements of Chapter 23.

F. Stormwater and Water Quality. Stormwater detention, retention, and drainage systems shall be designed to protect neighboring properties from the negative impacts of increased stormwater run-off and flooding. Systems shall be designed to function with public stormwater drainage systems under the authority of the Kent County Drain Commission, Kent County Road Commission, or the Michigan Department of Transportation (MDOT).

Does not meet standard. The site plan indicates that there will be two large detention basins to the west of the proposed homes, and one smaller detention basin to the east, which is an existing drainage course. There will be four private drainage easements, three of which will be between lots on the west side of the street and one which will be between lots on the east side of the street. The applicant has also specified that all existing field tile drains within the 100-foot isolation buffer for the drain fields will be relocated to be outside of the isolation area.

The applicant has conducted a wetland delineation, performed by Barr Inc. and confirmed by EGLE, and has provided a wetland report as part of the application materials. The review by the Township Engineer dated 04/15/2026 indicates several deficiencies in the provided stormwater and septic plans which will need to be

mitigated and addressed in updated plan sets. All stormwater plans are subject to final approval by the Township Engineer.

G. Signs. Proposed signs shall meet dimensional and location requirements and shall be placed in locations that limit driver distraction and prevent visual clutter (Chapter 24).

Meets standard, condition recommended. The site plan indicates that one 10'x15' ground-mounted neighborhood identification sign is planned to be installed at the entrance, however, the application package does not include any further visual details on signage. The location of the proposed sign is not within the clear vision corner and achieves compliance with Section 26.40.G as per Section 3.40.C of the GCTZO. Staff recommends that signage be reviewed administratively once the applicant has a sign plan to submit.

H. Water and Sewer. Public water and sewer connections shall be approved by the Byron Gaines Utility Authority (BGUA) in accordance with Section 17.90 B as applicable. The site plan will not overburden BGUA's ability to provide public services, while at the same time adequately providing for sewage collection and treatment.

Undetermined, condition recommended. The applicant is proposing a private community septic system to serve the 30 residential lots, which will each have their own individual well. Although the proposed plans have no bearing on the BGUA's ability to provide public services, the Township Engineer's review dated 04/15/2026 indicates several deficiencies which must be addressed through updated plan sets. Final plans must be reviewed and approved by the Township Engineer and the Kent County Health Department.

I. Outside Agencies. Applicants shall secure all applicable outside agency approvals, including but not limited to the Kent County Health Department, Kent County Road Commission, Kent County Drain Commission, Fire Department, and State of Michigan regulatory agencies. Securing applicable approvals may also be a condition of approval if not received prior to the Planning Commission review.

Undetermined. The applicant has provided a wetland report from EGLE and is in communication with the GCTFD, Township Engineer, and Kent County Health Department. The Township Engineer provided comments indicating that wastewater

calculations may have to be revised to meet standards. Approval of the wastewater system must be obtained by the Township Engineer.

CHAPTER 28: CONDOMINIUM REVIEW

Section 28.50 – Condominium Approval Standards

A. Design. Plans shall comply with the design requirements for platted subdivisions as outlined in the Gaines Charter Township Subdivision Regulations.

Meets standard. The proposed subdivision satisfies all requirements outlined in Chapter 22 of the Gaines Charter Township Code of Ordinances

B. Zoning Compliance and Compatibility. Condominium proposals shall conform to all zoning district requirements (Chapters 4 to 13, as applicable). Site planning shall consider both zoning compliance and compatibility with adjacent properties and land uses.

Meets standard. Please see staff comments in response to §26.40.A.

C. Mobility, Traffic, and Access. Pedestrian and bicycle travel shall be accommodated in accordance with this ordinance (Section 21.20). Acceptable traffic conditions shall be maintained (Section 21.30). Driveway placement, connectivity, and shared access shall be designed to promote safe and efficient access to and from the site and circulation within the site. Compliance with access management requirements shall be demonstrated (Section 21.40). All sites and buildings shall be accessible to emergency service vehicles and personnel to respond to emergencies and calls for service. Private streets and driveways shall conform to the requirements of Chapter 22.

Meets standard. The application indicates that the exit onto 92nd Street will have a stop sign; driveway placement and traffic calming measures are subject to review and approval by the Kent County Road Commission. Staff finds that sidewalks on 92nd Street are not necessary at this time, as no other segments of sidewalk currently exist on 92nd and they may seem misplaced if installed as part of this project. Emergency access appears to be adequate but is ultimately subject to review and approval by the GCTFD.

D. Stormwater and Water Quality. Stormwater detention, retention, and drainage systems shall be designed to protect neighboring properties from the negative

impacts of increased stormwater run-off and flooding. Systems shall be designed to function with public stormwater drainage systems under the authority of the Kent County Drain Commission, Kent County Road Commission, or the Michigan Department of Transportation (MDOT).

Does not meet standard. Please see staff comments from §26.40.F.

E. Outside Agencies. Applicants shall secure all applicable outside agency approvals, including but not limited to the Kent County Health Department, Kent County Road Commission, Kent County Drain Commission, Fire Department, and State of Michigan regulatory agencies. Securing applicable approvals may also be a condition of approval if not received prior to the Township Board's review.

Meets standard. Please see staff comments in response to §26.40.I.

STAFF RECOMMENDATION

The Planning Commission must determine if the proposed setbacks are appropriate.

Staff does not endorse approval of the request for site plan review and a major condominium using the Open Space Development option based on the Township Engineer's review. The clarifications and information requested in the Engineers letter dated April 15, 2026, must be provided to the Engineer, and meet wastewater standards prior to approval. The wastewater system is a critical component of this project and in staffs' opinion must very clearly be able to support the neighborhood in future decades.

Unless action is tabled, the Planning Commission shall decide upon preliminary condominium and site plan requests as follows:

- a. Approval. The motion or resolution and minutes shall indicate the findings and conclusions serving as the basis for the decision and any conditions imposed.
- b. Denial. In the case of a denial, the motion or resolution and minutes shall indicate the findings and conclusions serving as the basis for the decision.

If approved the preliminary condominium will go to the Township Board for review.

Narrative for Proposed Caledonia Meadows
Site Condominium Development
(Open Space Preservation)

3805 – 92nd Street SE

Objective: The Development is a single family, residential Site Condominium project with 30 units. It is proposed to develop it under section 4.3 Agricultural – Rural Residential District (ARR) Open Space Development Provisions of the Gaines Charter Township Zoning Ordinance. The development is to be served by a private road and storm water management system, individual wells, and a community septic system as described below.

Zoning and Use: The parcel is currently zoned ARR (Agricultural – Rural Residential) for home sites no smaller than 2.0 acres (87,120 s.f.), with a minimum 200-foot width.

Open Space Development Provisions:

The open space development option allows the width of the units to be reduced to ½ the required minimum. It is proposed that the minimum unit width is 100 feet and the minimum unit area of 25,000 s.f.. The total developed area is 72.37 acres of the existing 83.00 acre property. The proposed gross open space is 48.5 acres (67%). The net open space is 42.07 acres (58%)

Parallel Plan: A parallel plan has been submitted demonstrating that the property could be developed under the existing zoning in accordance with Section 4.30(D)2a. That plan yields 30 units. The storm water management basin is included within the site condominium units. This is common with multiple examples in the Township for existing plat and site condominium developments. The parallel plans includes all required elements.

Access: Access for the proposed units will be provided by a private road. The private road will be constructed to Gaines Charter Township standards. The private road, measured from the 92nd Street R/W to the center of the cul-de-sac, is approximately 1,593 lineal feet.

Density: The total acreage of the proposed project is 72.37 acres. 30 units are proposed, resulting in a density of 0.41 units per acre.

Proposed Home Construction: The minimum height and area requirements for the proposed homes shall be as specified in Gaines Charter Township's zoning ordinance except as further restricted in the Master Deed and Bylaws. Same home designs have been submitted. The type of construction and materials shall be reviewed and approved by the condominium association's Architectural Review Committee.

Open Space: Open space will be provided in accordance with section 4.3(H). Reasonable use of the open spaces will be provided as follows: The open space at the northern portion of the property will provide passive recreational uses. Those uses will include a picnic area and children's play area connected the sidewalk in the street with a 5' side concrete sidewalk. A recreational trail with an improved gravel surface will provide walking loop

around the open space. The surface of the gravel walking path will provide a stable compact surface consistent with walking trails found throughout many of Michigan's public parks and trail systems. The open space to the east of the developed area will be utilized primarily for agricultural use as tillable acreage.

Natural resources, including an existing wooded and wetland area at the northern end of this open space will be preserved for the enjoyment of the residents. The open space will be available for all residents of the development. As described above there is a 5' concrete sidewalk and gravel walking path to provide safe and convenient access to the open space.

Potable Water and Sanitary Sewer: Each newly created unit will be served by an individual private well. The sanitary sewer system will be a pressurized system that will collect effluent from individual units and transport it to a private community drain field system. All units will have an similar individual septic tank effluent pumping (STEP) system. The effluent will be pumped to the common force main. The effluent will be discharged to ground at the community wastewater treatment and onsite soil dispersal facility per the requirements of the Kent County Health Department and the Michigan Department of Environment, Great Lakes, and Energy (EGLE). The soil dispersal system will be an advanced treatment system. The advanced treatment will be provided by Eljen GSF System. They have been approved for use by the State of Michigan since 2010. The proposed system will be similar to the system designed and approved in 2020 for the Hideaway Site Condominium development. With the exception that the Hideaway system was designed to serve 34 residential units. The proposed system will only serve 30 residential units.

Storm Water Management: The proposed Storm Water Management Basin shall be designed in compliance with the Gaines Charter Township Storm Water Ordinance. The proposed storm water management basin will store the run-off from 2 – 100 Year Rainfall events. The developed run-off will discharge to a natural existing drainage course along the eastern portion of the development. From there is drains in the same natural existing drainage course across adjacent properties toward a culvert under East Paris Avenue that discharges to the Schooley Drain. The master deed for the Development, which was previously reviewed and approved by Township's legal counsel, places all of the burden for both the storm water management and the septic tank effluent pumping system, previously mentioned, upon the Development Homeowner Association. The master deed provides remedies for the Township in the event that the systems are not properly managed. The master deed provides for the establishment of special assessment districts as determined by the Township if such a need would arise. Thus, the Township is well protected and has options to keep these systems functioning properly. A storm water management narrative will be submitted with the storm water management design calculations.

Street Lighting: Streetlights are proposed as shown

Side Walks: A 5' sidewalk is proposed on both sides of the street.

Landscaping: Street trees will be provided as shown on the site plan. A 50-foot wide open space buffer strip has been provided along 92nd Street for the screening of the street frontage. A Type 1 landscape buffer is provided as shown. There is 468 lf of frontage.

Required Plantings

468 L.F. x 3 trees/30 L.F. = 47 trees

There will 12 evergreen trees (25% of the total) and 35 deciduous

Signage: Project Signage is proposed at the Entrance. It will be designed and installed according to the Township sign ordinance.

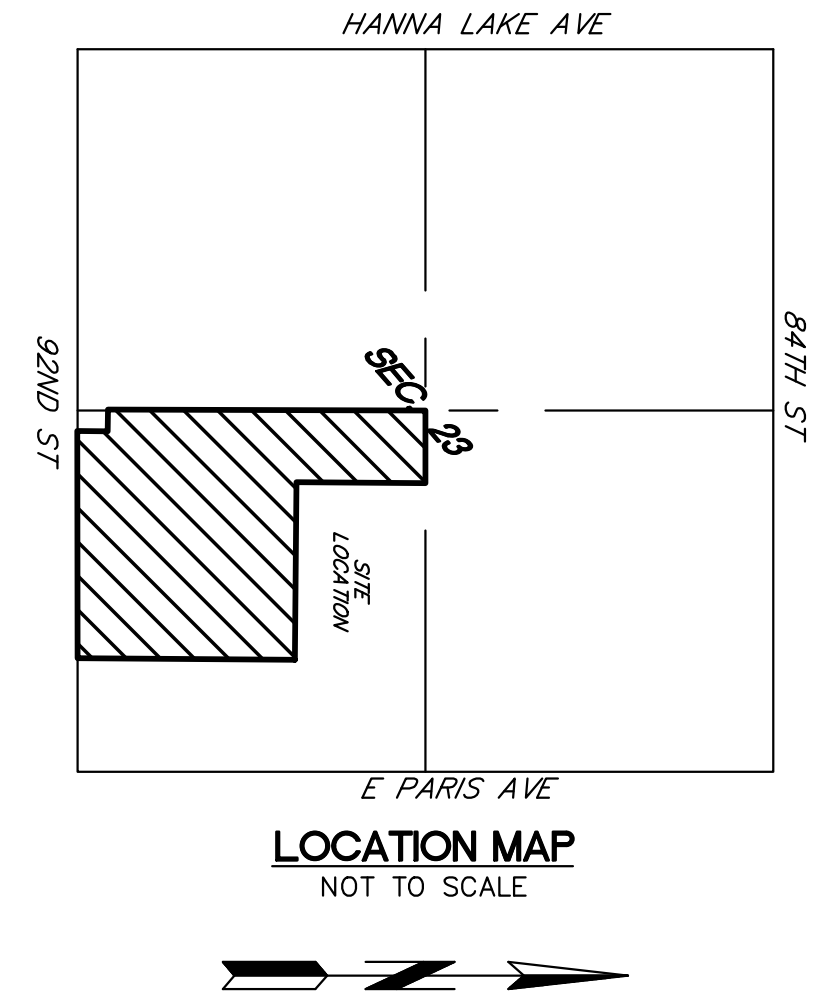
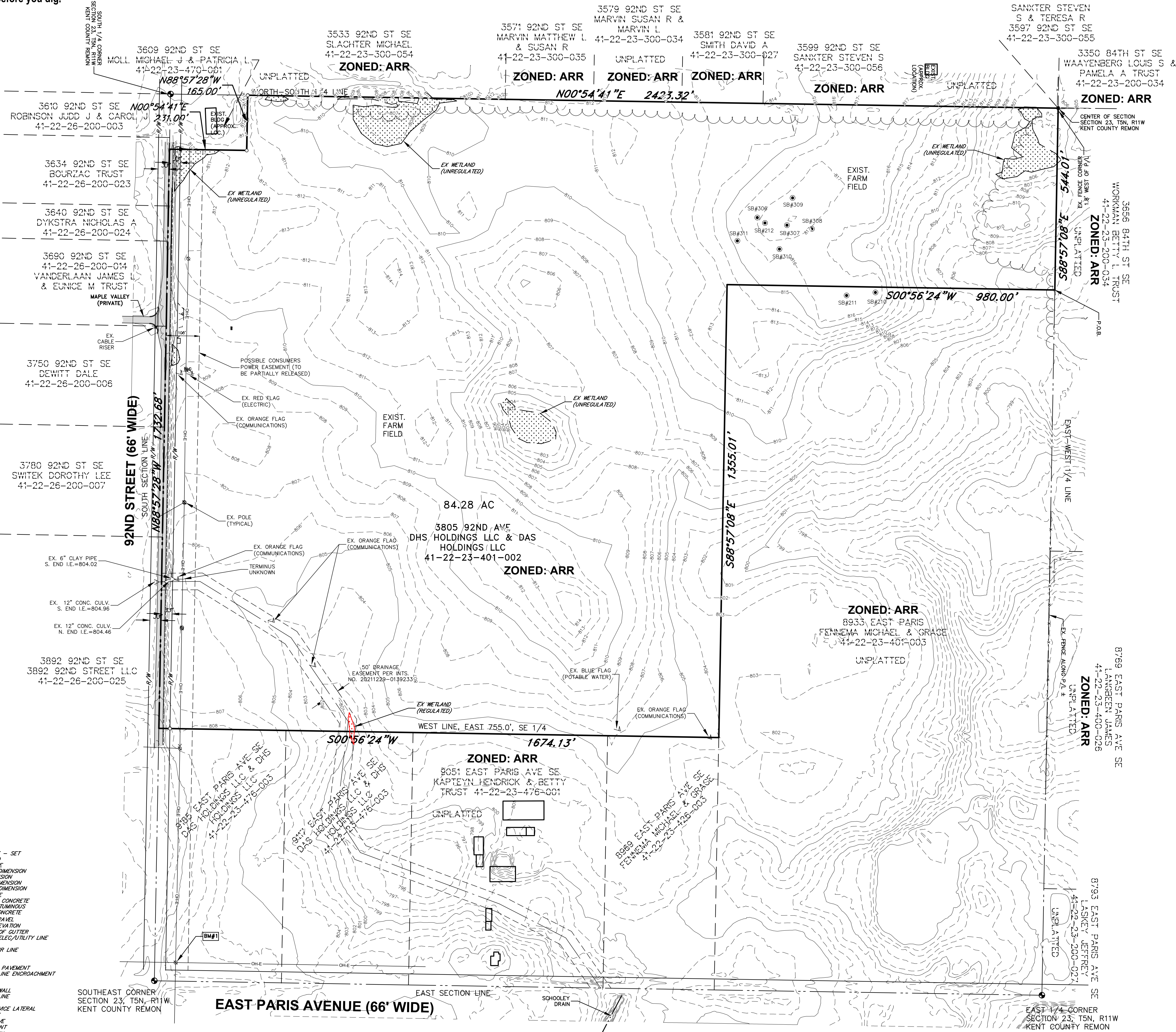
Wetlands: A wetland delineation was performed by Matt MacGregor at Barr Inc. in June of 2025. That delineation was confirmed by EGLE. There were 6 areas of wetland identified as shown on the existing conditions plan. None of the 5 wetland areas on the development property area are regulated by the state of Michigan. There is one small wetland area that straddles the eastern property of the exception property as indicated on the plan.



Know what's below.
Call before you dig.

BENCHMARK NO. 1 ELEV. = 808.77
SET SPIKE NAIL IN SOUTH SIDE OF
P.POLE LOCATED 63' NORTH OF AND
55' WEST OF THE INTERSECTION OF
EAST PARIS AVE. AND 92ND STREET
(N.A.V.D. 88 DATUM)

CALEDONIA MEADOWS EXISTING CONDITIONS



LEGAL DESCRIPTION

Part of the Southeast 1/4 of Section 23, T5N, R11W, Gaines Township, Kent County, Michigan, described as: Commencing at the East 1/4 corner of said Section; thence N88°57'08"W 2110.00 feet along the East-West 1/4 line of said Section to the Point of Beginning; thence S00°56'24"W 980.00 feet; thence S88°57'08"E 1355.0 feet to a point on the West line of the East 755 feet of said Southeast 1/4; thence S00°56'24"W 1674.13 feet along said West line to a point on the South line of said Section; thence N88°57'28"W 1732.68 feet along said South line to a point on the East line of the West 165 feet of said Southeast 1/4; thence N00°54'41"E 231.00 feet along said East line to a point on the North line of the South 231 feet of said Southeast 1/4; thence N88°57'28"W 165.00 feet along said North line to a point on the North-South 1/4 line of said Section; thence N00°54'41"E 2423.32 feet along said line to the Center of said Section; thence S88°57'08"E 544.01 feet along the East-West 1/4 line of said Section to the Point of Beginning. Subject to the road right of way for 92nd Street over the South 33.0 feet thereof.

SOIL BORING 210:
0'-10" LOAMY SAND TOPSOIL
10"-49" LOAMY SAND (FINE TO MED)
49"-56" SANDY CLAY LOAM (FINE TO MED)
NOTES: MOTTLING AT 37". MAY BE SUITABLE FOR A MOUND SYSTEM WITH ADDITIONAL SUPPORTING INFORMATION/HOLES.

SOIL BORING 211:
0'-10" SANDY LOAM TOPSOIL
10"-18" LOAMY SAND (FINE)
18"-30" SANDY CLAY LOAM (FINE)
NOTES: MOTTLING AT 20". NOT SUITABLE, SEASONAL SOIL SATURATION WITHIN 24" OF NATURAL GROUND SURFACE.

SOIL BORING 212:
0'-10" LOAM TOPSOIL
10"-13" CLAY LOAM (WITH MOTTLING)
13"-17" SAND (FINE TO MED)
NOTES: SUITABLE FOR PARTIAL CUTDOWN WITH ADDITIONAL SUPPORTING INFORMATION/HOLES.

SOIL BORING 306:
0'-8" LOAM TOPSOIL
8"-60" CLAY LOAM (MOTTLING AT 12")
60"-12" SILTY CLAY (WITH MOTTLING)
12"-17" SAND (FINE TO MED)
NOTES: SUITABLE FOR FULL CUTDOWN DRAIN BED.

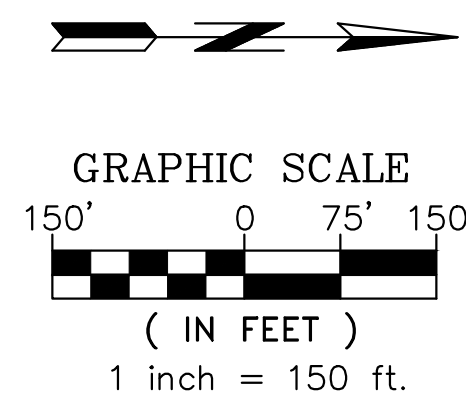
SOIL BORING 307:
0'-10" LOAM TOPSOIL
10"-72" CLAY LOAM (MOTTLING AT 12")
72"-14" SILTY CLAY (WITH MOTTLING)
14"-19" SAND (FINE TO MED)
NOTES: SUITABLE FOR FULL CUTDOWN DRAIN BED.

SOIL BORING 308:
0'-10" LOAM TOPSOIL
10"-72" CLAY LOAM (MOTTLING AT 12")
72"-14" SILTY CLAY (WITH MOTTLING)
14"-19" SAND (FINE TO MED)
NOTES: SUITABLE FOR FULL CUTDOWN DRAIN BED.

SOIL BORING 309:
0'-11" LOAM TOPSOIL
11"-3" CLAY LOAM (MOTTLING AT 12")
3"-13" SILTY CLAY (WITH MOTTLING)
13"-19" CLAY (WITH MOTTLING)
NOTES: NOT SUITABLE, NO UNDERLYING PERMEABLE SOIL.

SOIL BORING 310:
0'-10" LOAM TOPSOIL
10"-72" CLAY LOAM (MOTTLING AT 12")
72"-12" SILTY CLAY (WITH MOTTLING)
12"-17" SAND (FINE TO MED)
NOTES: SUITABLE FOR FULL CUTDOWN DRAIN BED.

SOIL BORING 311:
0'-8" LOAM TOPSOIL
8"-60" CLAY LOAM (MOTTLING AT 8")
60"-15" SILTY CLAY (WITH MOTTLING)
15"-19" SAND (FINE TO MED)
NOTES: SUITABLE FOR FULL CUTDOWN DRAIN BED.



EXISTING LEGEND

SURVEY	ELECTRICAL
● SECTION CORNER	○ UTILITY POLE
● PROPERTY IRON FOUND	■ UTILITY RISER/METER
○ PROPERTY IRON SET	
BM# BENCHMARK	▷ FLARED END SECTION
BIT - BITUMINOUS	
EXIST. BIT REMOVAL	
EXIST. WETLAND (UNREGULATED)	
EXIST. WETLAND (REGULATED)	
— 810 —	— PROPERTY LINE —
— 811 —	— CONTOUR LINE (MAJOR) —
— x — x — x —	— CONTOUR LINE (MINOR) —
	— FENCE —
— x — x — x —	— TREE LINE —
— STM —	— STORM SEWER —
— OHE —	— OVERHEAD ELECTRIC —



REVISIONS:

APPROVED BY: JH

DATE: MARCH 26, 2025

REVISIONS:

APRIL 7, 2025 - REV PER TWP

APRIL 9, 2025 - REV PER TWP

CLIENT:

DHS HOLDINGS LLC

3333 DEPOSIT DRIVE NE, SUITE 330

GRAND RAPIDS, MI 49546

616-327-2615

PROJECT NO.

220026

SHEET

C-101

Roostin & Associates

SURVEYING AND ENGINEERING

6555 PARKVIEW AVE. SE

GRAND RAPIDS, MI 49525

TEL: (616) 961-7222

FAX: (616) 361-1222

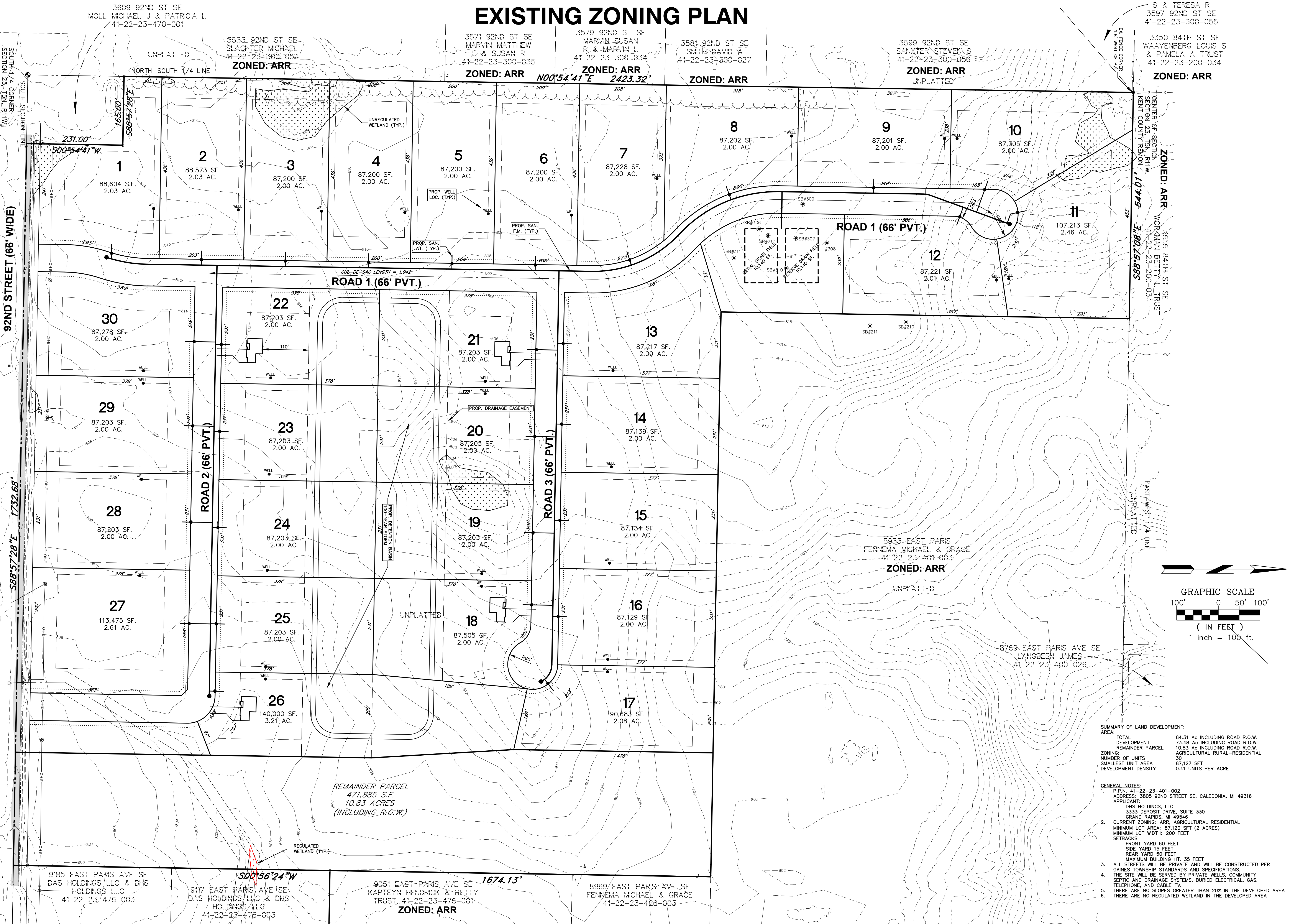
EXISTING CONDITION & REMOVAL PLAN

CALEDONIA MEADOWS

SEC. 23, T5N, R11W

GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

CALEDONIA MEADOWS
EXISTING ZONING PLAN



REVISIONS:

APPROVED BY: RGH	DATE: MARCH 26, 2026
REVISIONS:	APRIL 7, 2026 - REV PER TWP
	APRIL 9, 2026 - REV PER TWP

Roostin & Associates

SURVEYING AND ENGINEERING

3656 PLUMBED AVE. SE
GRAND RAPIDS, MI 49525

TEL: (616) 361-7222
FAX: (616) 361-1222

EXISTING ZONING PLAN
CALEDONIA MEADOWS

SEC. 23, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

CLIENT:

DHS HOLDINGS LLC
3333 DEPOSIT DRIVE NE, SUITE 330
GRAND RAPIDS, MI 49546
616-327-2615

PROJECT NO.

220026

SHEET

C-102

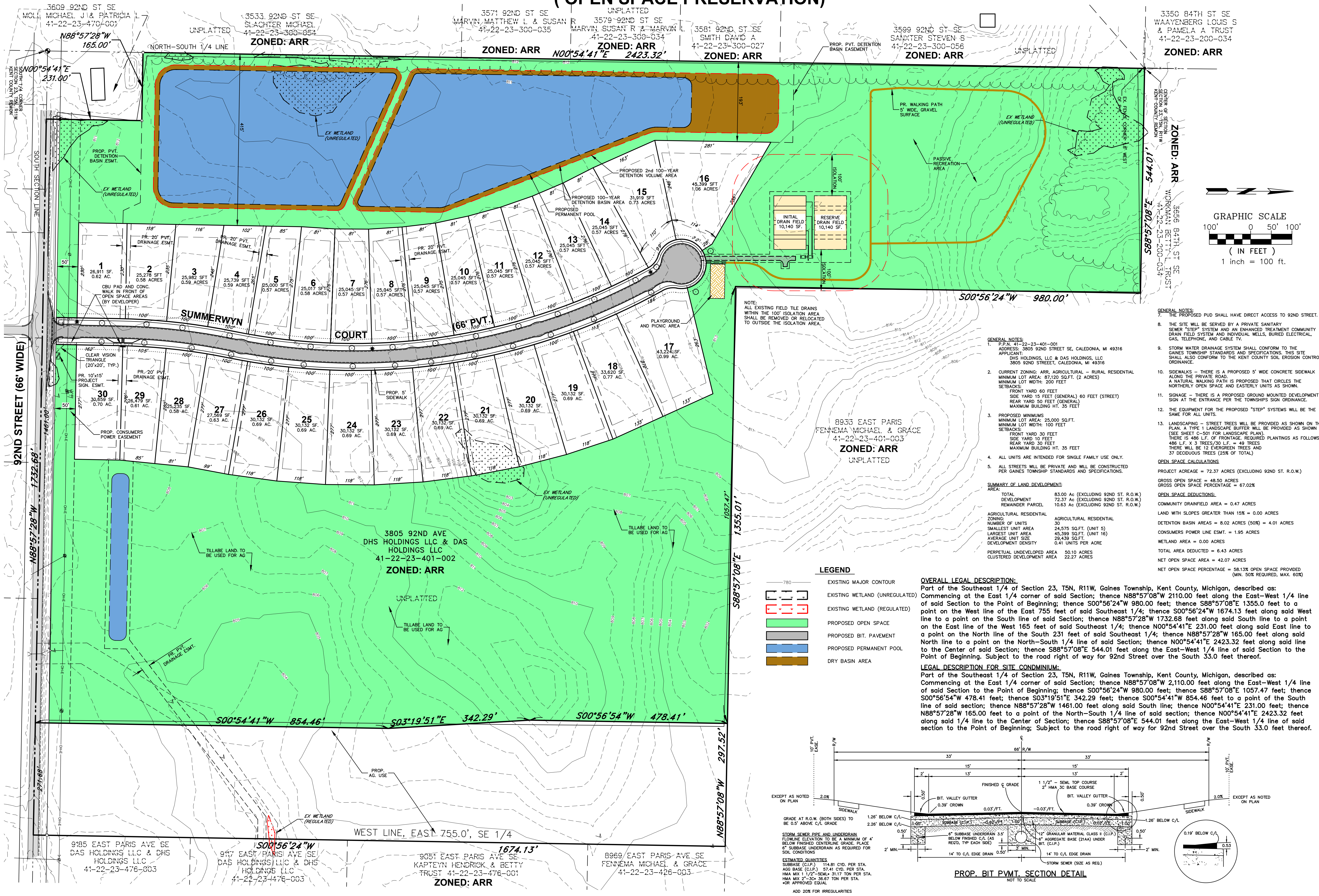
SUMMARY OF LAND DEVELOPMENT:

AREA:	TOTAL DEVELOPMENT REMAINDER PARCEL	84.31 AC INCLUDING ROAD R.O.W. 73.48 AC INCLUDING ROAD R.O.W. 10.83 AC INCLUDING ROAD R.O.W.
ZONING:	NUMBER OF UNITS	ARR, AGRICULTURAL RESIDENTIAL 30
SMALLEST UNIT AREA	SMALLEST UNIT AREA	87,127 SFT 0.41 UNITS PER ACRE

GENERAL NOTES:

- P.P.N. 41-22-23-401-002
ADDRESS: 3805 92ND STREET SE, CALEDONIA, MI 49316
APPLICANT:
DHS HOLDINGS, LLC
3333 DEPOSIT DRIVE, SUITE 330
GRAND RAPIDS, MI 49546
- CURRENT ZONING: ARR, AGRICULTURAL RESIDENTIAL
MINIMUM LOT AREA: 87,120 SFT (2 ACRES)
MINIMUM LOT WIDTH: 200 FEET
SETBACKS:
FRONT YARD 60 FEET
SIDE YARD 15 FEET
REAR YARD 50 FEET
MAXIMUM BUILDING HT. 35 FEET
ALL STREETS WILL BE PRIVATE AND WILL BE CONSTRUCTED PER GAINES TOWNSHIP STANDARDS AND SPECIFICATIONS.
- THE SITE WILL BE SERVED BY PRIVATE WELLS, COMMUNITY SEPTIC AND DRAINAGE SYSTEMS, BURIED ELECTRICAL, GAS, TELEPHONE, AND CABLE TV.
- THERE ARE NO SLOPES GREATER THAN 20% IN THE DEVELOPED AREA.
- THERE ARE NO REGULATED WETLAND IN THE DEVELOPED AREA.

CALEDONIA MEADOWS
SINGLE FAMILY RESIDENTIAL SITE CONDOMINIUM
(OPEN SPACE PRESERVATION)



NOTE:
ALL EXISTING FIELD TILE DRAINS
WITHIN THE 100' ISOLATION AREA
SHALL BE REMOVED OR RELOCATED
TO OUTSIDE THE ISOLATION AREA.

GENERAL NOTES:
1. P.F.N. 41-22-23-401-001
ADDRESS: 3805 92ND STREET SE, CALEDONIA, MI 49316
APPLICANT:
DHS HOLDINGS, LLC & DAS HOLDINGS, LLC
3805 92ND STREET, CALEDONIA, MI 49316

2. CURRENT ZONING: ARR, AGRICULTURAL - RURAL RESIDENTIAL
MINIMUM LOT AREA: 87,120 SQ.FT. (2 ACRES)
MINIMUM LOT WIDTH: 200 FEET
SETBACKS:
FRONT YARD 60 FEET
SIDE YARD 15 FEET (GENERAL) 60 FEET (STREET)
REAR YARD 50 FEET (GENERAL)
MAXIMUM BUILDING HT. 35 FEET

3. PROPOSED MINIMUMS:
MINIMUM LOT AREA: 25,000 SQ.FT.
MINIMUM LOT WIDTH: 100 FEET
SETBACKS:
FRONT YARD 30 FEET
SIDE YARD 10 FEET
REAR YARD 30 FEET
MAXIMUM BUILDING HT. 35 FEET

4. ALL UNITS ARE INTENDED FOR SINGLE FAMILY USE ONLY.

5. ALL STREETS WILL BE PRIVATE AND WILL BE CONSTRUCTED
PER GAINES TOWNSHIP STANDARDS AND SPECIFICATIONS.

SUMMARY OF LAND DEVELOPMENT:
TOTAL DEVELOPMENT 83.00 AC (EXCLUDING 92ND ST. R.O.W.)
REMAINDER PARCEL 72.37 AC (EXCLUDING 92ND ST. R.O.W.)
AGRICULTURAL RESIDENTIAL 10.63 AC (EXCLUDING 92ND ST. R.O.W.)
ZONING: 30
NUMBER OF UNITS 24,575 SQ.FT. (UNIT 5)
SMALLEST UNIT AREA 45,399 SQ.FT. (UNIT 16)
AVERAGE UNIT SIZE 29,430 SQ.FT.
DEVELOPMENT DENSITY 0.41 UNITS PER ACRE
PERPETUAL UNDEVELOPED AREA 50.10 ACRES
CLUSTERED DEVELOPMENT AREA 22.27 ACRES

GENERAL NOTES:
7. THE PROPOSED PUD SHALL HAVE DIRECT ACCESS TO 92ND STREET.
8. THE SITE WILL BE SERVED BY A PRIVATE SANITARY
SEWER "STEP" SYSTEM AND AN ENHANCED TREATMENT COMMUNITY
DRAIN FIELD SYSTEM AND INDIVIDUAL WELLS BURIED ELECTRICAL
GAS, TELEPHONE, AND CABLE TV.
9. STORM WATER DRAINAGE SYSTEM SHALL CONFORM TO THE
GAINES TOWNSHIP STANDARDS AND SPECIFICATIONS. THIS SITE
SHALL ALSO CONFORM TO THE KENT COUNTY SOIL EROSION CONTROL
ORDINANCE.
10. SIDEWALKS - THERE IS A PROPOSED 5' WIDE CONCRETE SIDEWALK
ALONG THE PRIVATE ROAD.
A NATURAL WALKING PATH IS PROPOSED THAT CIRCLES THE
NORTHERLY OPEN SPACE AND EASTERLY UNITS AS SHOWN.
11. SIGNAGE - THERE IS A PROPOSED GROUND MOUNTED DEVELOPMENT
SIGN AT THE ENTRANCE PER THE TOWNSHIP'S SIGN ORDINANCE.
12. THE EQUIPMENT FOR THE PROPOSED "STEP" SYSTEMS WILL BE THE
SAME FOR ALL UNITS.
13. LANDSCAPING - STREET TREES WILL BE PROVIDED AS SHOWN ON THE
PLAN. A TYPE 1 LANDSCAPE BUFFER WILL BE PROVIDED AS SHOWN
(SEE SHEET C-501 FOR LANDSCAPE PLAN).
THERE IS 486 L.F. OF FRONTAGE REQUIRED PLANTINGS AS FOLLOWS:
486 L.F. X 3 TREES/50 L.F. = 49 TREES
THERE WILL BE 12 EVERGREEN TREES AND
37 DECIDUOUS TREES (25% OF TOTAL).

OPEN SPACE CALCULATIONS:
PROJECT ACREAGE = 72.37 ACRES (EXCLUDING 92ND ST. R.O.W.)
GROSS OPEN SPACE = 48.50 ACRES
GROSS OPEN SPACE PERCENTAGE = 67.02%

OPEN SPACE DEDUCTIONS:
COMMUNITY DRAINFIELD AREA = 0.47 ACRES
LAND WITH SLOPES GREATER THAN 15% = 0.00 ACRES
DETENTION BASIN AREAS = 8.02 ACRES (50%) = 4.01 ACRES
CONSUMERS POWER LINE ESMT. = 1.95 ACRES
WETLAND AREA = 0.00 ACRES
TOTAL AREA DEDUCTED = 6.43 ACRES
NET OPEN SPACE AREA = 42.07 ACRES
NET OPEN SPACE PERCENTAGE = 58.13% OPEN SPACE PROVIDED
(MIN. 50% REQUIRED, MAX. 60%)

LEGEND

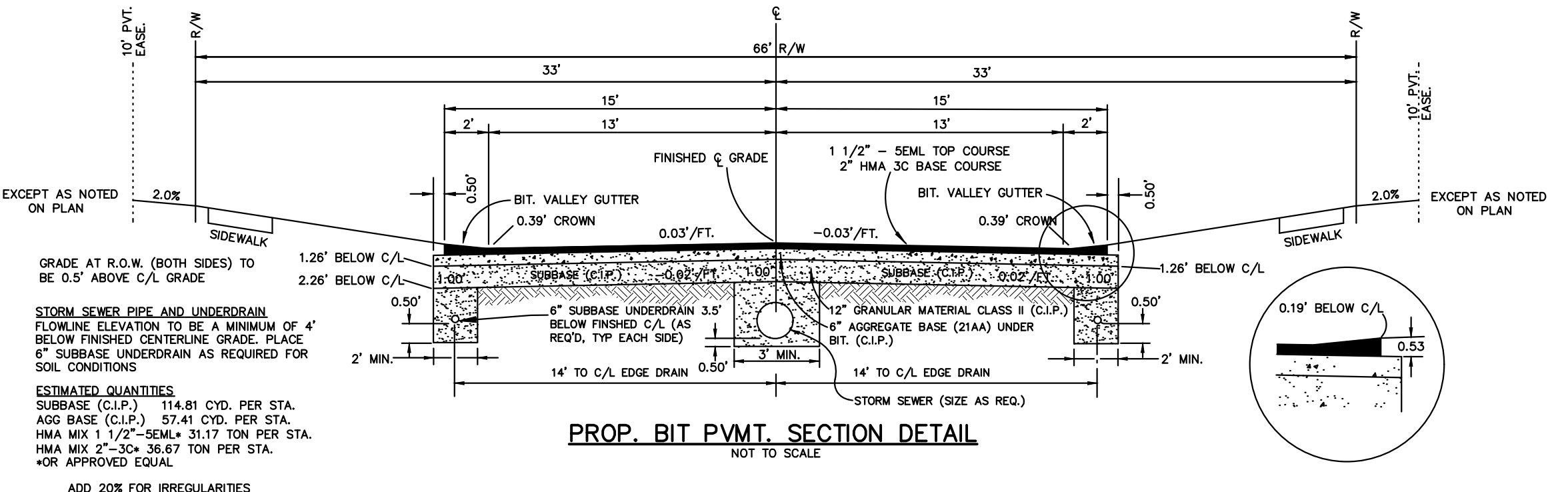
- EXISTING MAJOR CONTOUR
- EXISTING WETLAND (UNREGULATED)
- EXISTING WETLAND (REGULATED)
- PROPOSED OPEN SPACE
- PROPOSED BIT PAVEMENT
- PROPOSED PERMANENT POOL
- DRY BASIN AREA

OVERALL LEGAL DESCRIPTION:

Part of the Southeast 1/4 of Section 23, T5N, R11W, Gaines Township, Kent County, Michigan, described as:
Commencing at the East 1/4 corner of said Section; thence N88°57'08"W 2110.00 feet along the East-West 1/4 line
of said Section to the Point of Beginning; thence S00°56'24"W 980.00 feet; thence S88°57'08"E 1355.0 feet to a
point on the West line of the East 755 feet of said Southeast 1/4; thence S00°56'24"W 1674.13 feet along said West
line to a point on the South line of said Section; thence N88°57'28"W 1732.68 feet along said South line to a point
on the East line of the West 165 feet of said Southeast 1/4; thence N00°54'41"E 231.00 feet along said East line to
a point on the North line of the South 231 feet of said Southeast 1/4; thence N88°57'28"W 165.00 feet along said
North line to a point on the North-South 1/4 line of said Section; thence N00°54'41"E 2423.32 feet along said line
to the Center of said Section; thence S88°57'08"E 544.01 feet along the East-West 1/4 line of said Section to the
Point of Beginning. Subject to the road right of way for 92nd Street over the South 33.0 feet thereof.

LEGAL DESCRIPTION FOR SITE CONDOMINIUM:

Part of the Southeast 1/4 of Section 23, T5N, R11W, Gaines Township, Kent County, Michigan, described as:
Commencing at the East 1/4 corner of said Section; thence N88°57'08"W 2110.00 feet along the East-West 1/4 line
of said Section to the Point of Beginning; thence S00°56'24"W 980.00 feet; thence S88°57'08"E 1057.47 feet; thence
S00°56'54"W 478.41 feet; thence S03°19'51"E 342.29 feet; thence S00°54'41"W 854.46 feet to a point of the South
line of said section; thence N88°57'28"W 1461.00 feet along said South line; thence N00°54'41"E 231.00 feet; thence
N88°57'28"W 165.00 feet to a point of the North-South 1/4 line of said section; thence N00°54'41"E 2423.32 feet
along said 1/4 line to the Center of said section; thence S88°57'08"E 544.01 feet along the East-West 1/4 line of said
section to the Point of Beginning. Subject to the road right of way for 92nd Street over the South 33.0 feet thereof.



REVISIONS:

DATE	BY	REVISIONS
MARCH 26, 2025	YS	APPROVED BY HIGH
APRIL 7, 2026	YS	REV PER TWP
APRIL 9, 2026	YS	REV PER TWP

DRAWN BY: YS

APPROVED BY: HIGH

DATE: MARCH 26, 2025

REVISIONS:

APRIL 7, 2026 - REV PER TWP

APRIL 9, 2026 - REV PER TWP

SERVING THE NEEDS OF OUR CLIENTS SINCE 1987

Roosien & Associates
SURVEYING AND ENGINEERING

OVERALL SITE DEVELOPMENT PLAN
CALEDONIA MEADOWS

CLIENT:
DHS HOLDINGS LLC
3333 DEPOSIT DRIVE NE, SUITE 330
GRAND RAPIDS, MI 49546
616-327-2615

PROJECT NO.
220026

SHEET
C-103

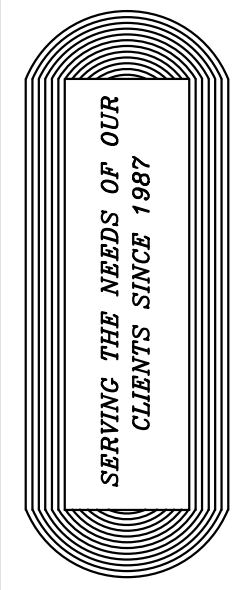
CALEDONIA MEADOWS
SINGLE FAMILY RESIDENTIAL SITE CONDOMINIUM
(OPEN SPACE PRESERVATION)

TOTALS THIS SHEET:	
1.5" SANITARY SEWER LATERAL (PVC)	1,060 L.F.
1.5" CURB STOP AND BOX	20 EA.
2" SAN. FORCEMAIN	1,000 L.F.

PROPOSED WET DETENTION BASIN
REQ. 100 YR FLOOD VOLUME = 415,436 CFT
REQ. 2x100 YR FLOOD VOLUME = 830,872 CFT
VOLUME PROVIDED = 950,951 CFT
BOTTOM OF BASIN ELEV. = 800.5
PERMANENT POOL ELEV. = 804.5
100 YR FLOOD ELEV. = 805.7
2x100 YR FLOOD ELEV. = 806.8

REVISIONS:

DRAWN BY: YS
APPROVED BY: RGH
DATE: MARCH 26, 2026
REVISIONS:
APRIL 7, 2026 - REV PER TWP
APRIL 9, 2026 - REV PER TWP

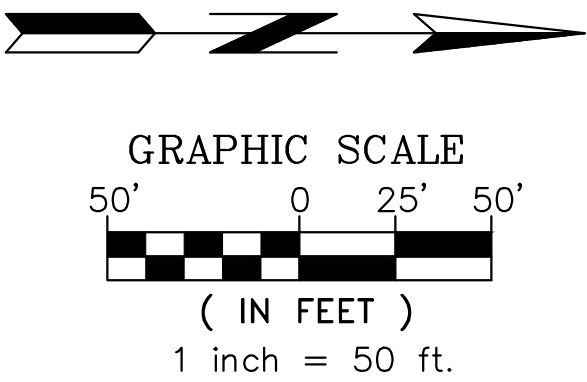
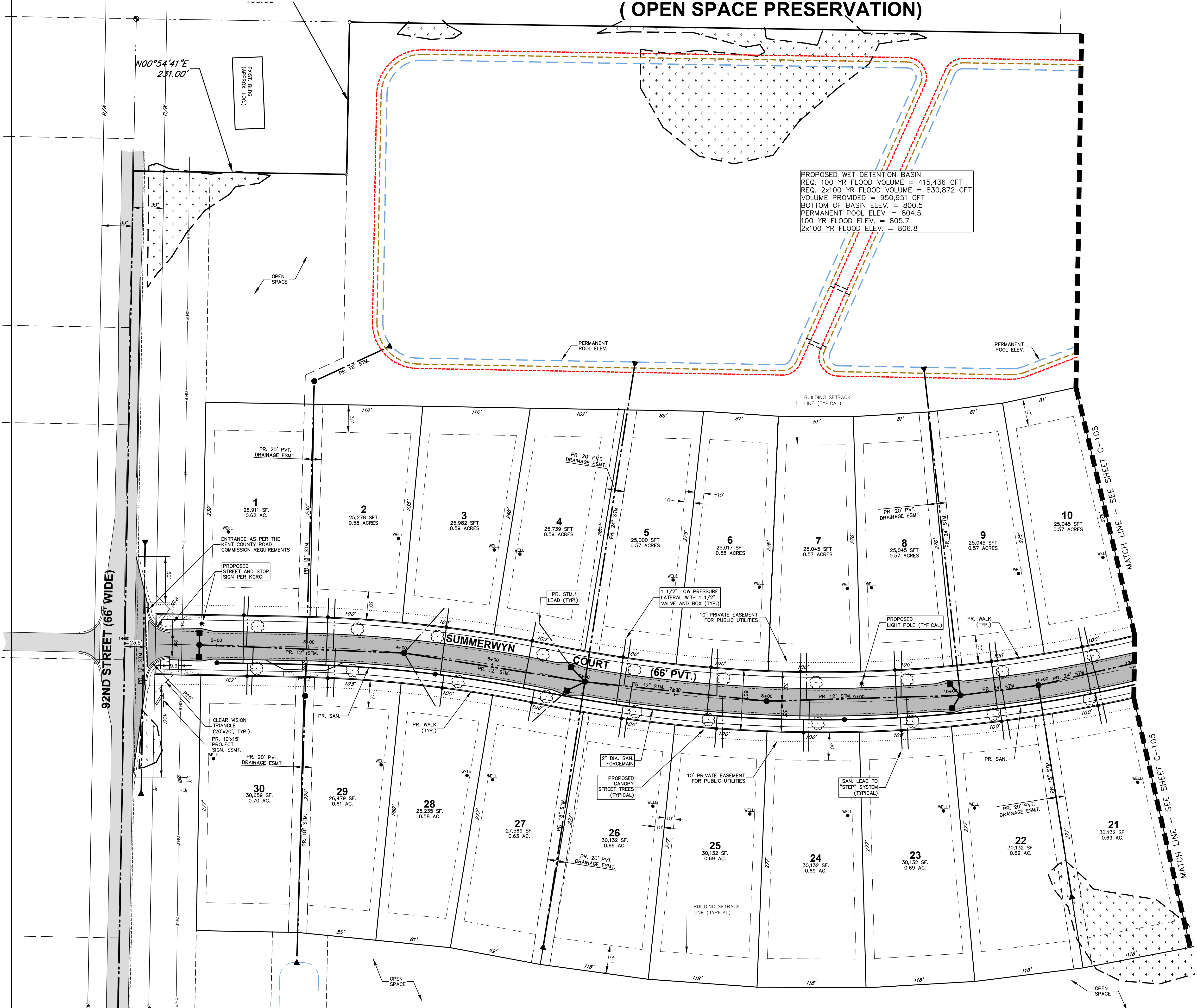


Roostin & Associates, Inc.
SURVEYING AND ENGINEERING
2655 PLUMFIELD AVE. SE
GRAND RAPIDS, MI 49525
TEL: (616) 961-7222
FAX: (616) 961-1222

SITE LAYOUT AND UTILITY PLAN
CALEDONIA MEADOWS
SEC. 23, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

CLIENT:
DHS HOLDINGS LLC
3333 DEPOSIT DRIVE NE, SUITE 330
GRAND RAPIDS, MI 49546
616-327-2615

PROJECT NO.
220026
SHEET
C-104

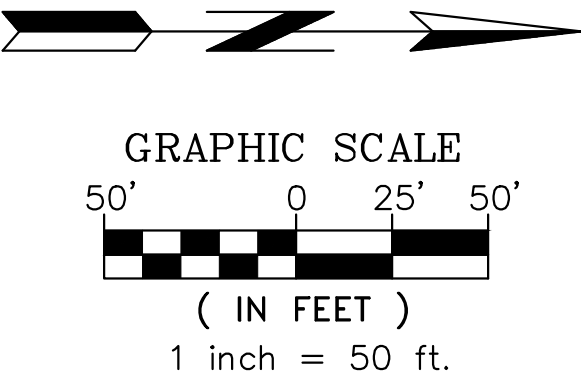
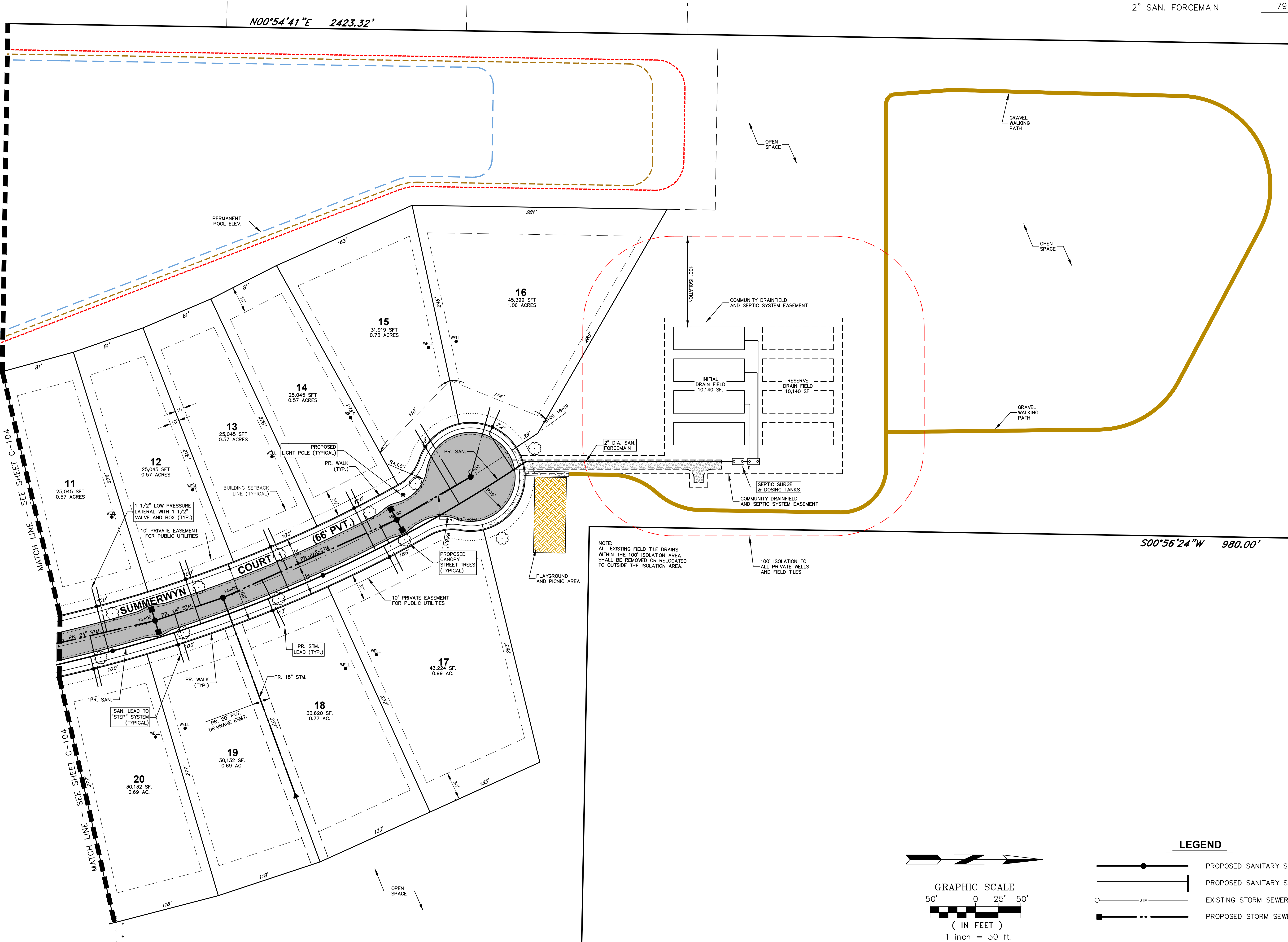


LEGEND

- PROPOSED SANITARY SEWER
- PROPOSED SANITARY SERVICE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER

CALEDONIA MEADOWS
SINGLE FAMILY RESIDENTIAL SITE CONDOMINIUM
(OPEN SPACE PRESERVATION)

TOTALS THIS SHEET:	
1.5" SANITARY SEWER LATERAL (PVC)	595 L.F.
1.5" CURB STOP AND BOX	10 EA.
2" SAN. FORCEMAIN	791 L.F.



LEGEND	
	PROPOSED SANITARY SEWER
	PROPOSED SANITARY SERVICE
	EXISTING STORM SEWER
	PROPOSED STORM SEWER

REVISIONS:

DATE: MARCH 26, 2026	REVISED BY: YS
APRIL 7, 2026 - REV PER TWP	APRIL 9, 2026 - REV PER TWP

Roostin & Associates

SURVEYING AND ENGINEERING

1000 PLAINFIELD AVE. SE
GRAND RAPIDS, MI 49505

PHONE: (616) 361-7222
FAX: (616) 361-1222

SITE LAYOUT AND UTILITY PLAN
CALEDONIA MEADOWS

SEC. 23, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

CLIENT:

DHS HOLDINGS LLC
3333 DEPOSIT DRIVE NE, SUITE 330
GRAND RAPIDS, MI 49546
616-327-2615

PROJECT NO.

220026

SHEET

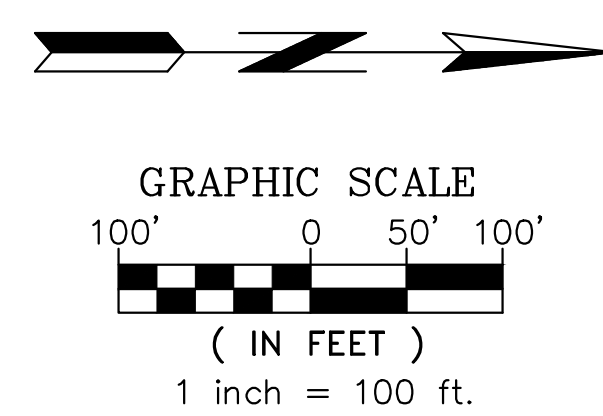
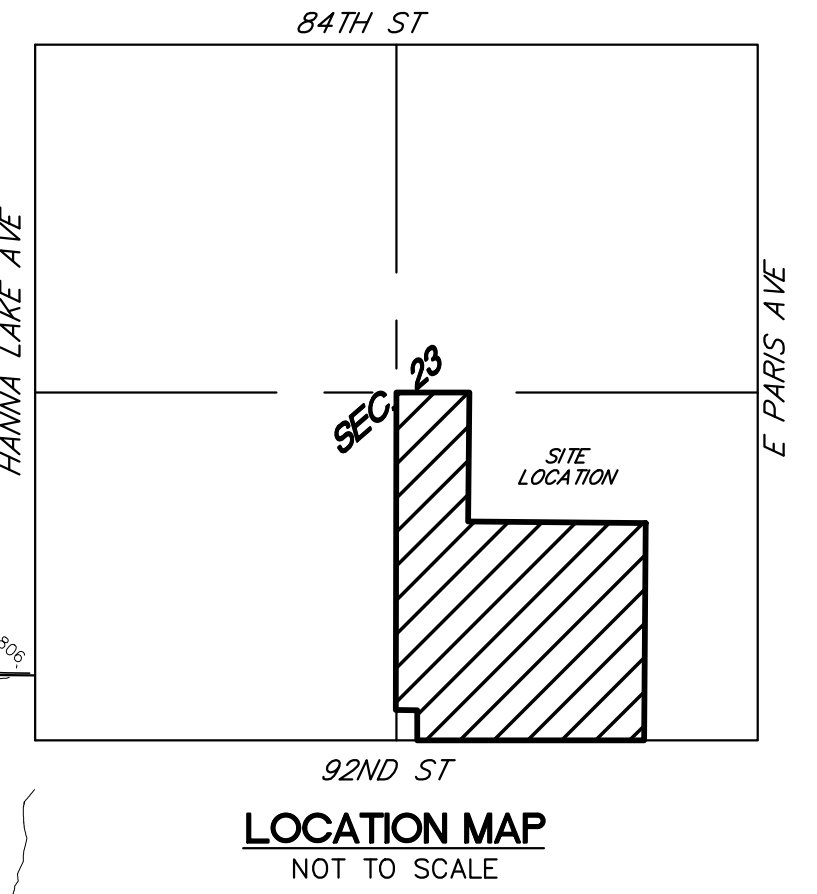
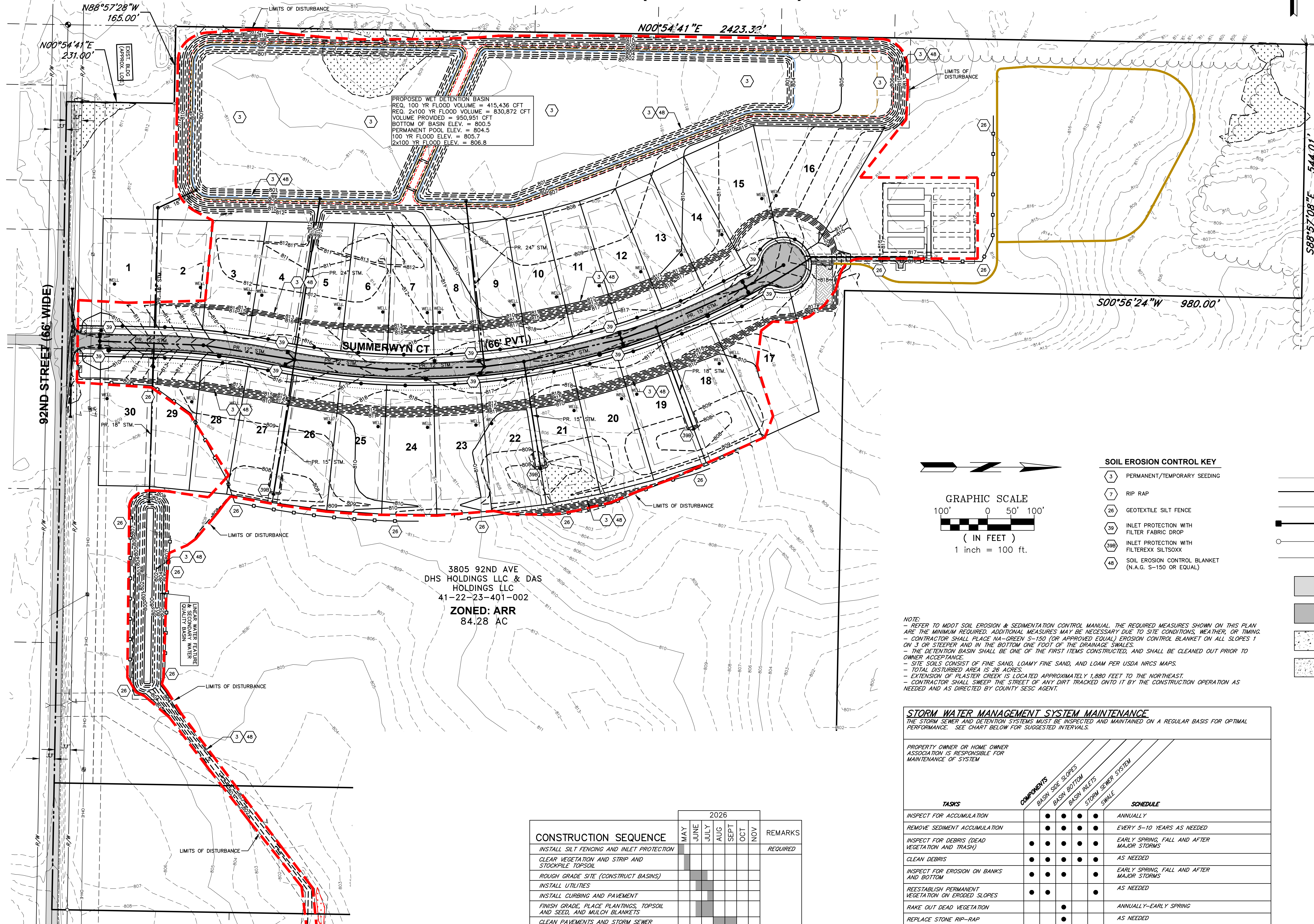
C-105



Know what's below.
Call before you dig.

CALEDONIA MEADOWS SINGLE FAMILY RESIDENTIAL SITE CONDOMINIUM (OPEN SPACE PRESERVATION)

(SESC PLAN)



SOIL EROSION CONTROL KEY

- 3 PERMANENT/TEMPORARY SEEDING
- 7 RIP RAP
- 26 GEOTEXTILE SILT FENCE
- 39 INLET PROTECTION WITH FILTER FABRIC DROP
- 39B INLET PROTECTION WITH FILTEREXX SILTBOX
- 48 SOIL EROSION CONTROL BLANKET (N.A.G. 5-150 OR EQUAL)

LEGEND

- 750 EXISTING CONTOUR LINE
- 750 PROPOSED CONTOUR LINE
- STM EXISTING STORM SEWER
- PROPOSED STORM SEWER
- SAN EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- EXISTING BIT. PAVEMENT
- PROPOSED BIT PAVEMENT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- DIRECTION OF FLOW

NOTE:
- REFER TO MDOT SOIL EROSION & SEDIMENTATION CONTROL MANUAL. THE REQUIRED MEASURES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIRED. ADDITIONAL MEASURES MAY BE NECESSARY DUE TO SITE CONDITIONS, WEATHER, OR TIMING.
- CONTRACTOR SHALL PLACE NA-GREEN S-150 (OR APPROVED EQUAL) EROSION CONTROL BLANKET ON ALL SLOPES 1 ON 3 OR STEEPER AND IN THE BOTTOM ONE FOOT OF THE DRAINAGE SWALES.
- THE DETENTION BASIN SHALL BE ONE OF THE FIRST ITEMS CONSTRUCTED, AND SHALL BE CLEANED OUT PRIOR TO OWNER ACCEPTANCE.
- SITE SOILS CONSIST OF FINE SAND, LOAMY FINE SAND, AND LOAM PER USDA NRCS MAPS.
- TOTAL DISTURBED AREA IS 26 ACRES.
- EXTENSION OF PLASTER CREEK IS LOCATED APPROXIMATELY 1,880 FEET TO THE NORTHEAST.
- CONTRACTOR SHALL SWEEP THE STREET OF ANY DIRT TRACKED ONTO IT BY THE CONSTRUCTION OPERATION AS NEEDED AND AS DIRECTED BY COUNTY SESC AGENT.

STORM WATER MANAGEMENT SYSTEM MAINTENANCE

THE STORM SEWER AND DETENTION SYSTEMS MUST BE INSPECTED AND MAINTAINED ON A REGULAR BASIS FOR OPTIMAL PERFORMANCE. SEE CHART BELOW FOR SUGGESTED INTERVALS.

TASKS	COMPONENTS					SCHEDULE
	BASIN SIDE SLOPES	BASIN BOTTOM	BASIN INLETS	STORM SEWER SYSTEM	SWALE	
INSPECT FOR ACCUMULATION	•	•	•	•	•	ANNUALLY
REMOVE SEDIMENT ACCUMULATION	•	•	•	•	•	EVERY 5-10 YEARS AS NEEDED
INSPECT FOR DEBRIS (DEAD VEGETATION AND TRASH)	•	•	•	•	•	EARLY SPRING, FALL AND AFTER MAJOR STORMS
CLEAN DEBRIS	•	•	•	•	•	AS NEEDED
INSPECT FOR EROSION ON BANKS AND BOTTOM	•	•	•	•	•	EARLY SPRING, FALL AND AFTER MAJOR STORMS
REESTABLISH PERMANENT VEGETATION ON ERODED SLOPES	•	•	•	•	•	AS NEEDED
RAKE OUT DEAD VEGETATION	•	•	•	•	•	ANNUALLY-EARLY SPRING
REPLACE STONE RIP-RAP	•	•	•	•	•	AS NEEDED
MOWING	•	•	•	•	•	AS NEEDED (MIN. ANNUALLY)

CONSTRUCTION SEQUENCE	2026						REMARKS
	MAY	JUNE	JULY	AUG	SEPT	OCT	
INSTALL SILT FENCING AND INLET PROTECTION							REQUIRED
CLEAR VEGETATION AND STRIP AND STOCKPILE TOPSOIL							
ROUGH GRADE SITE (CONSTRUCT BASINS)							
INSTALL UTILITIES							
INSTALL CURBING AND PAVEMENT							
FINISH GRADE, PLACE PLANTINGS, TOPSOIL AND SEED, AND MULCH BLANKETS							
CLEAN PAVEMENTS AND STORM SEWER							
REMOVE TEMPORARY EROSION CONTROL							

REVISIONS:

DRAWN BY: VS

APPROVED BY: FGH

DATE: MARCH 26, 2026

REVISIONS:

APRIL 7, 2026 - REV PER TWP

APRIL 9, 2026 - REV PER TWP

ROOSTER & ASSOCIATES

SURVEYING AND ENGINEERING

6050 PLAINFIELD AVE. SE

GRAND RAPIDS, MI 49525

TEL: (616) 361-7222

FAX: (616) 361-1222

SITE GRADING AND SESC PLAN

CALEDONIA MEADOWS

SEC. 23, T5N, R11W

GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

CLIENT:

DHS HOLDINGS LLC

3333 DEPOSIT DRIVE NE, SUITE 330

GRAND RAPIDS, MI 49546

616-327-2615

PROJECT NO.

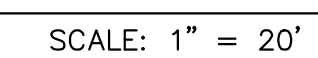
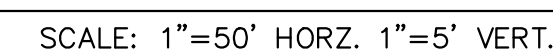
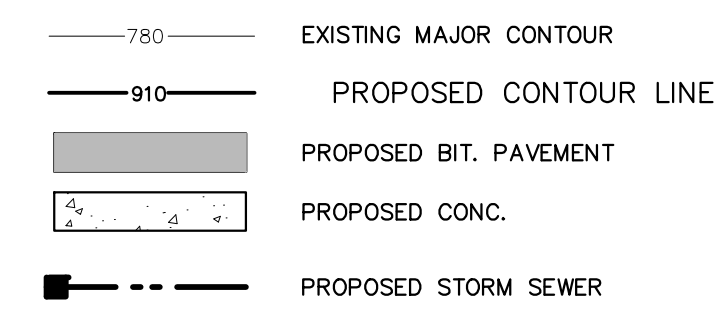
220026

SHEET

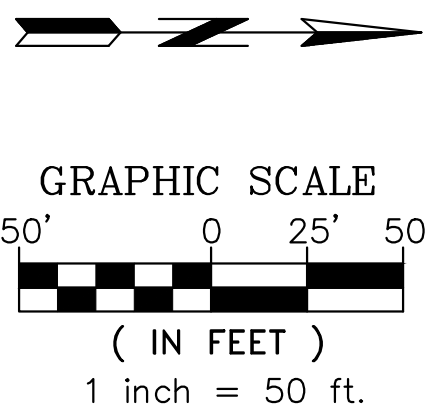
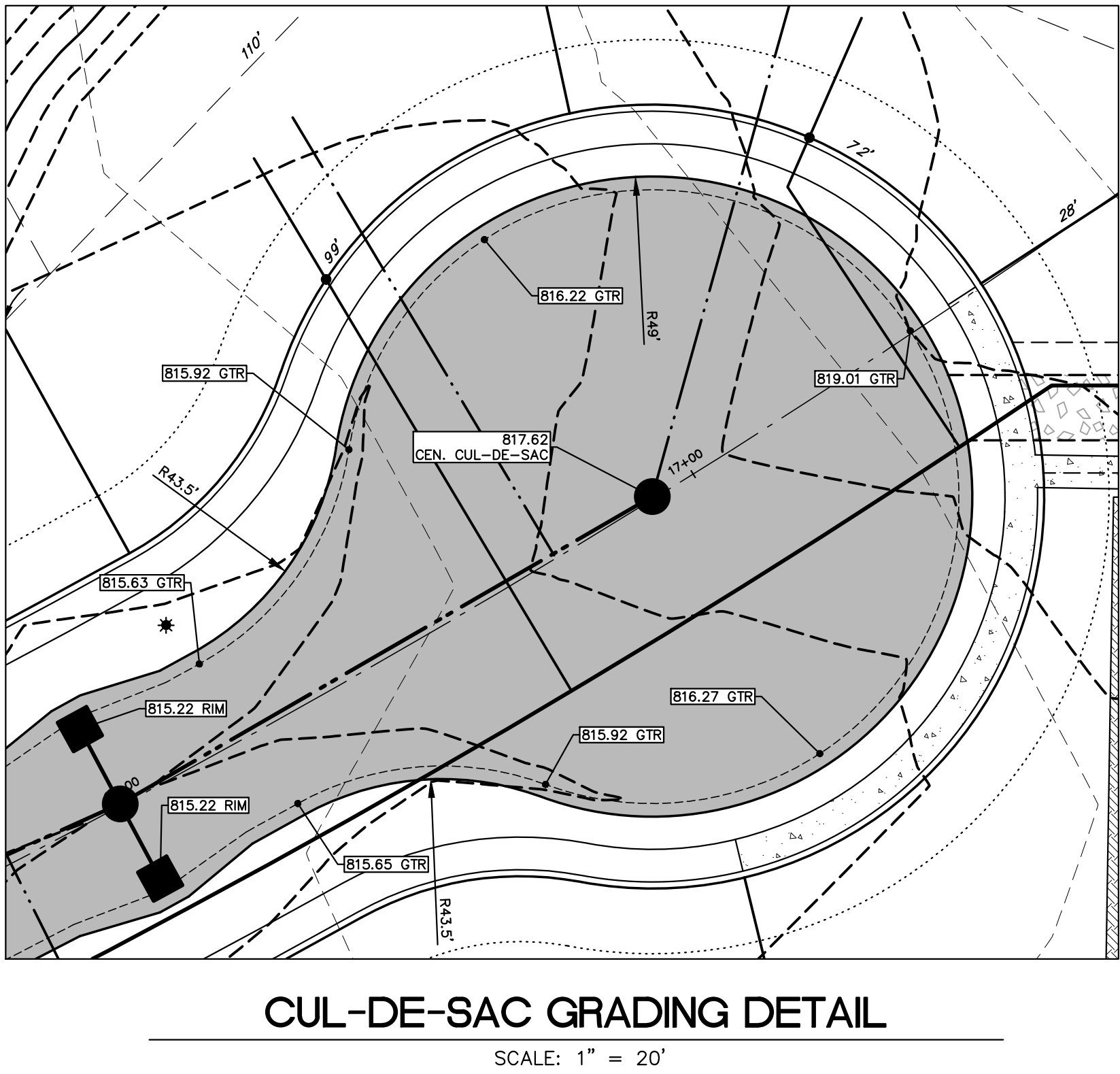
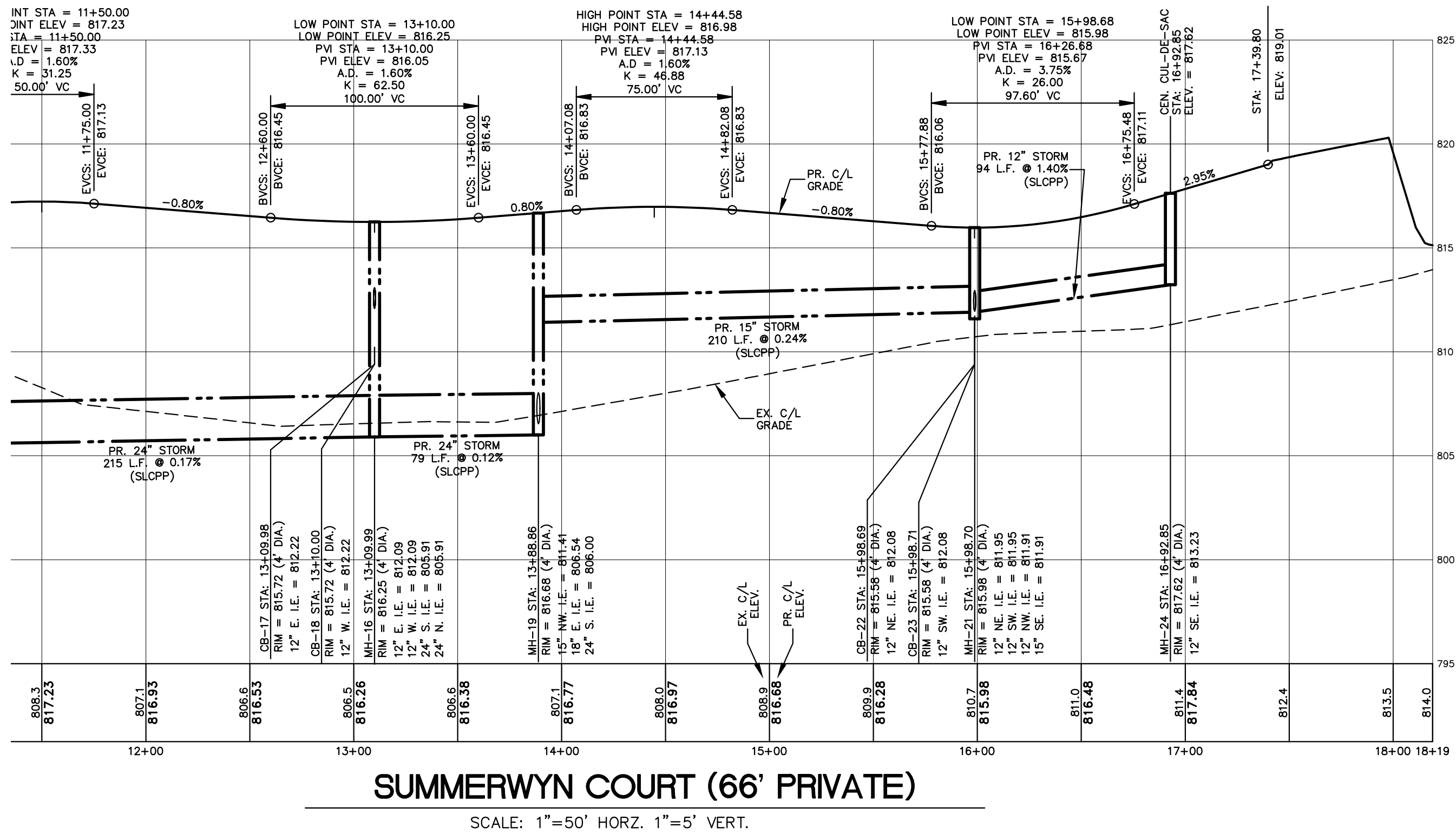
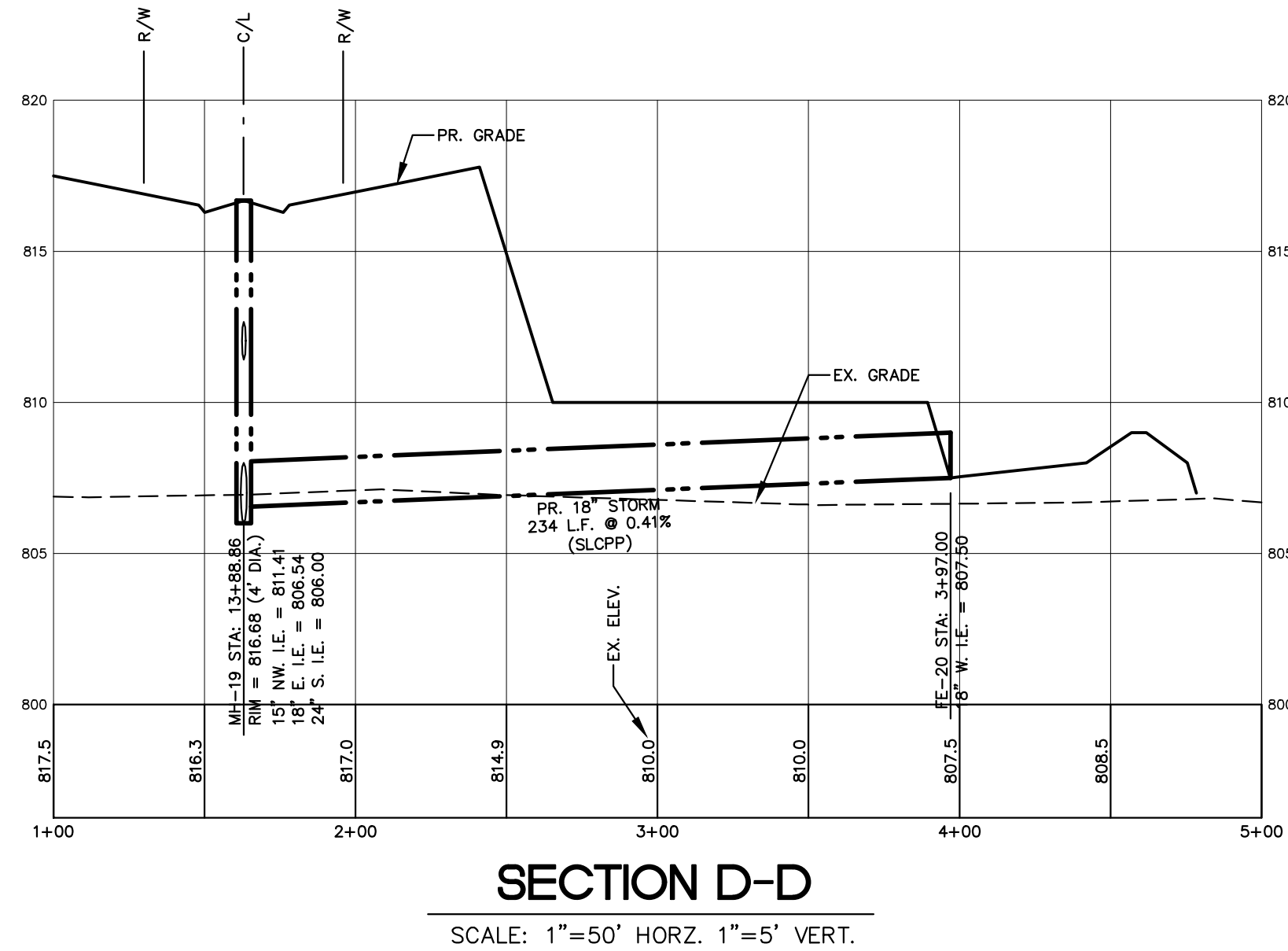
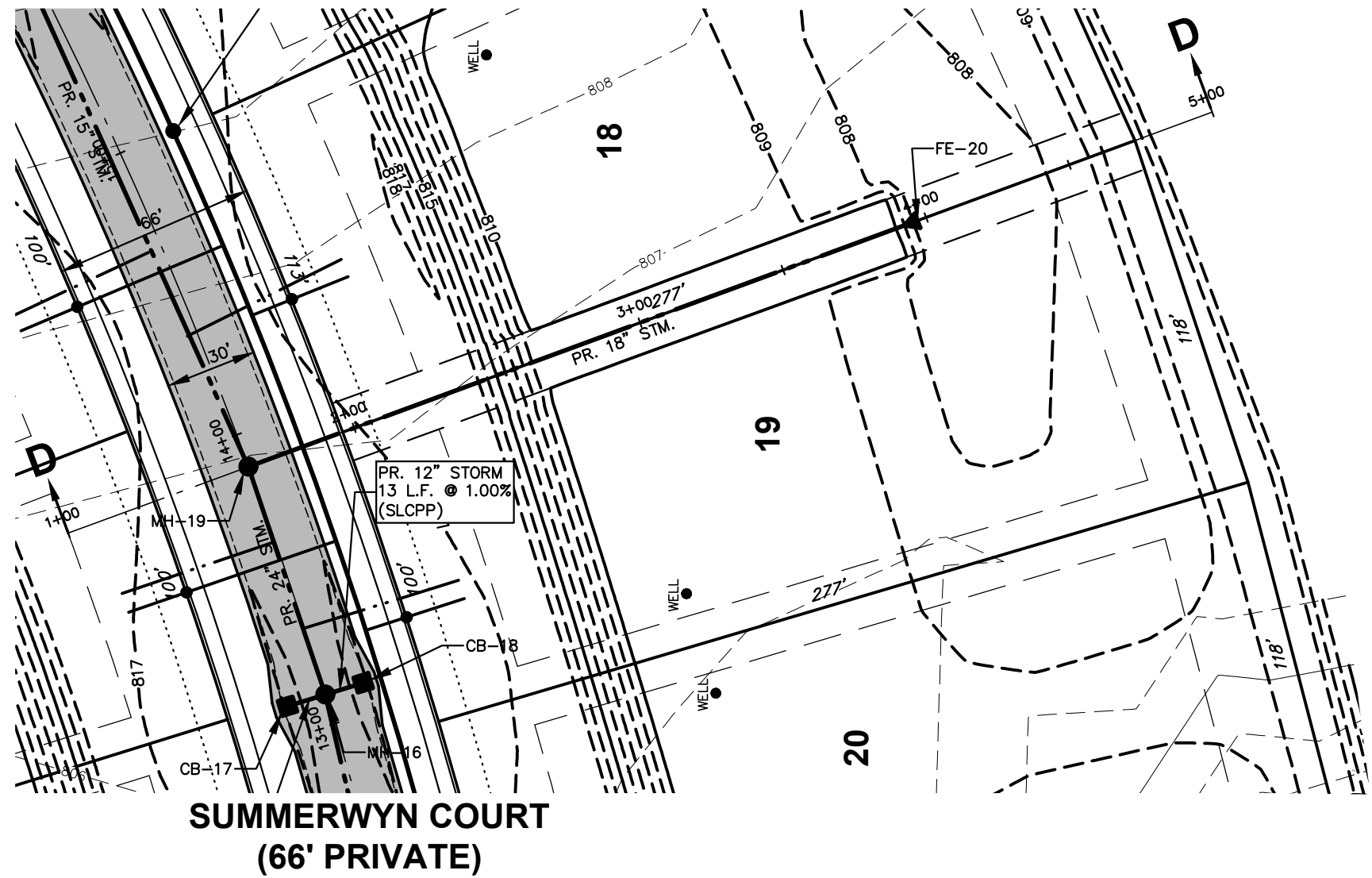
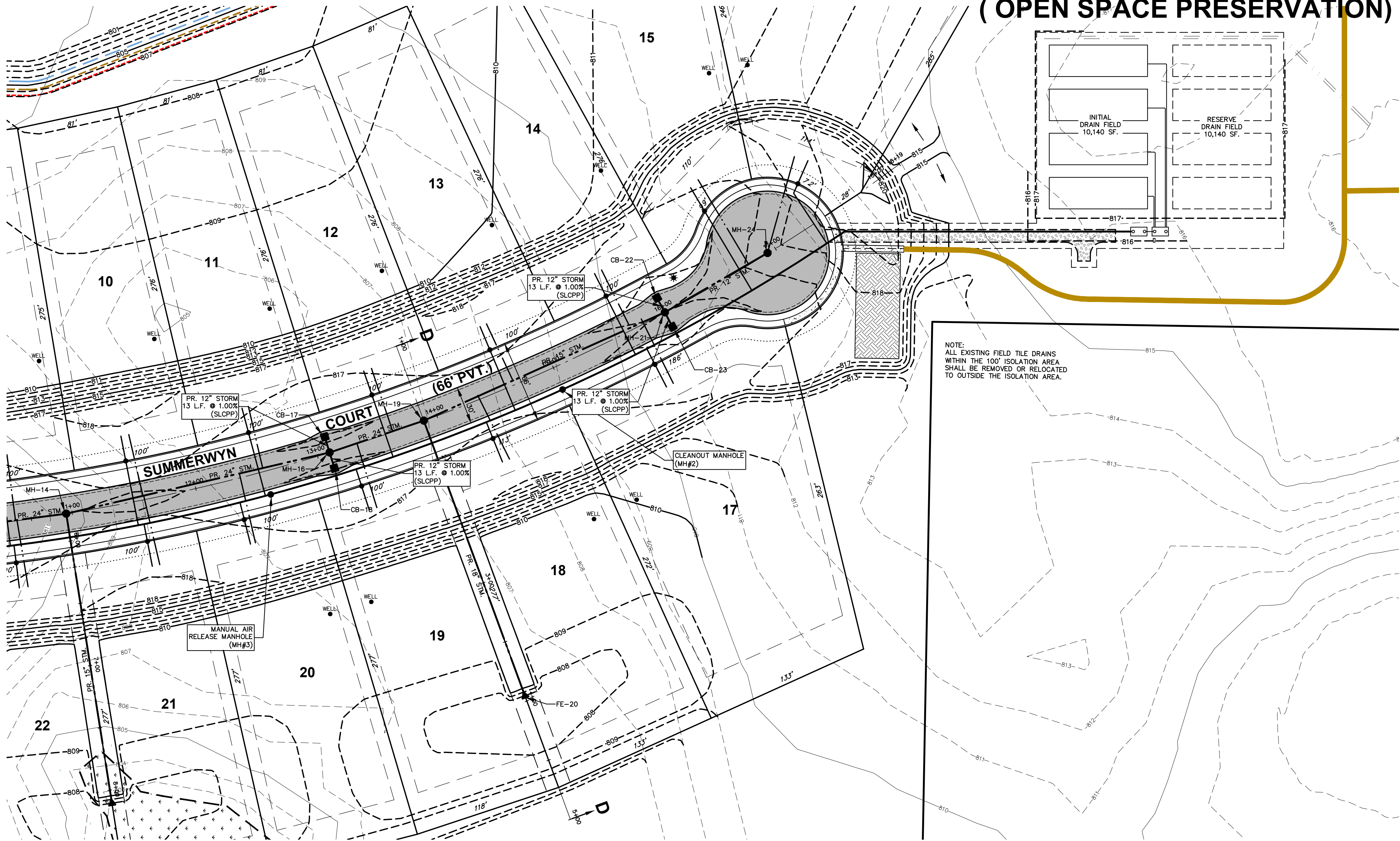
C-106

ADDRESS: 3805 92ND STREET SE, CALEDONIA, MI 49316

(OPEN SPACE PRESERVATION)



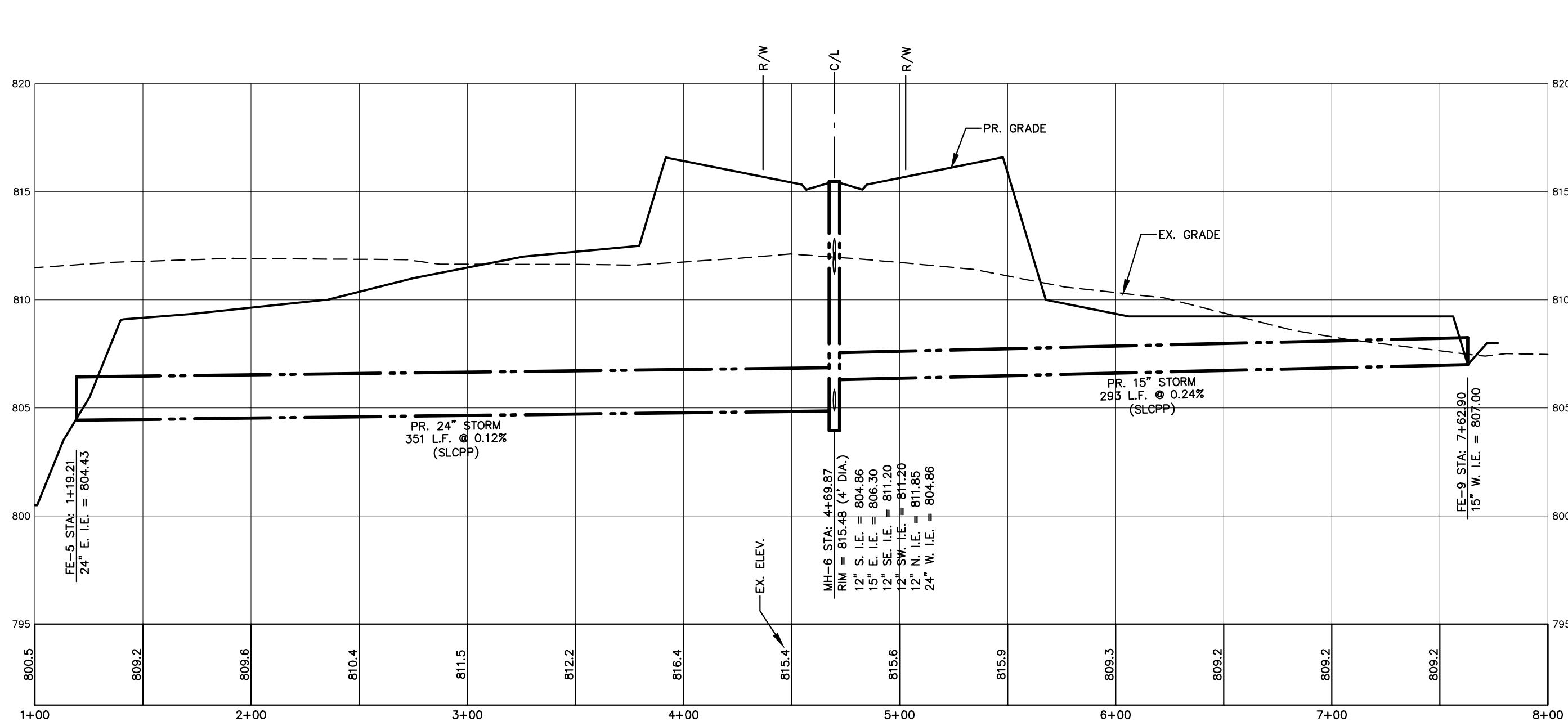
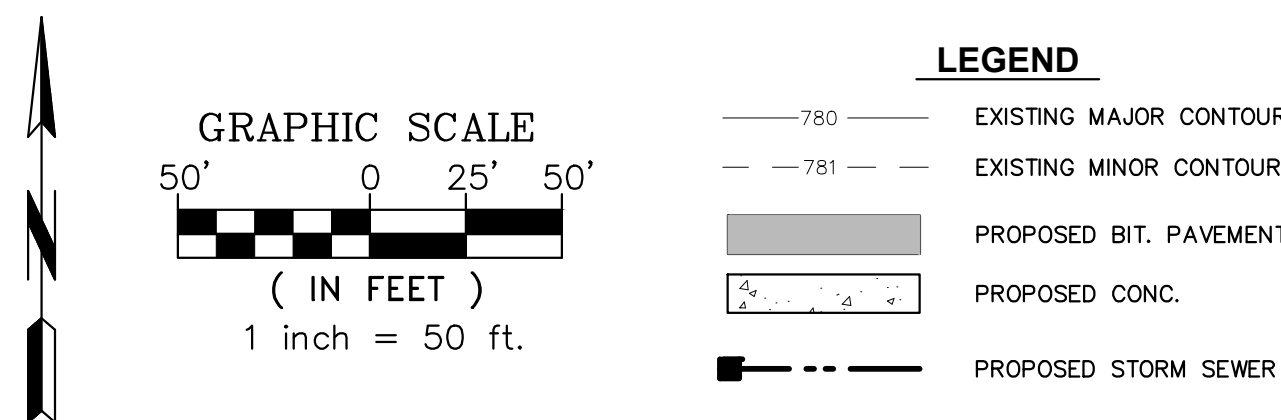
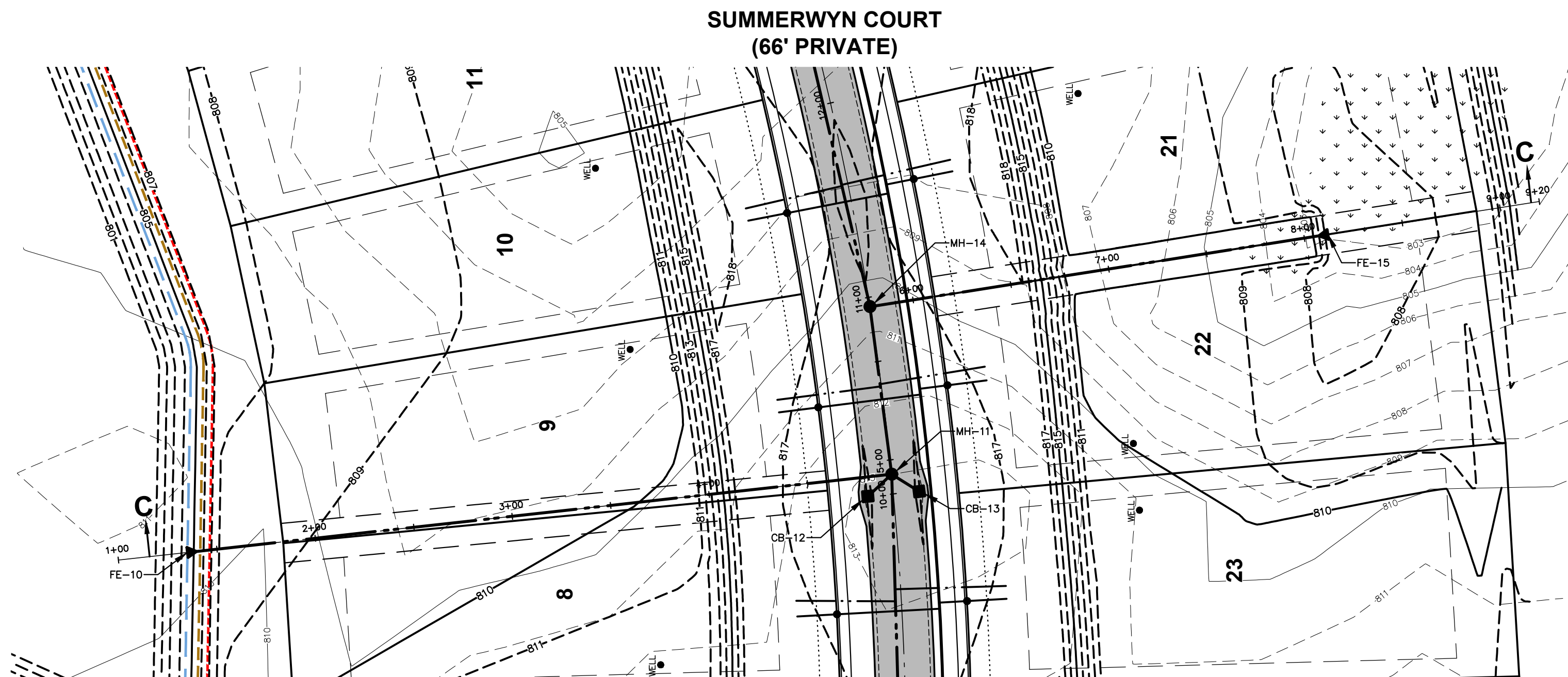
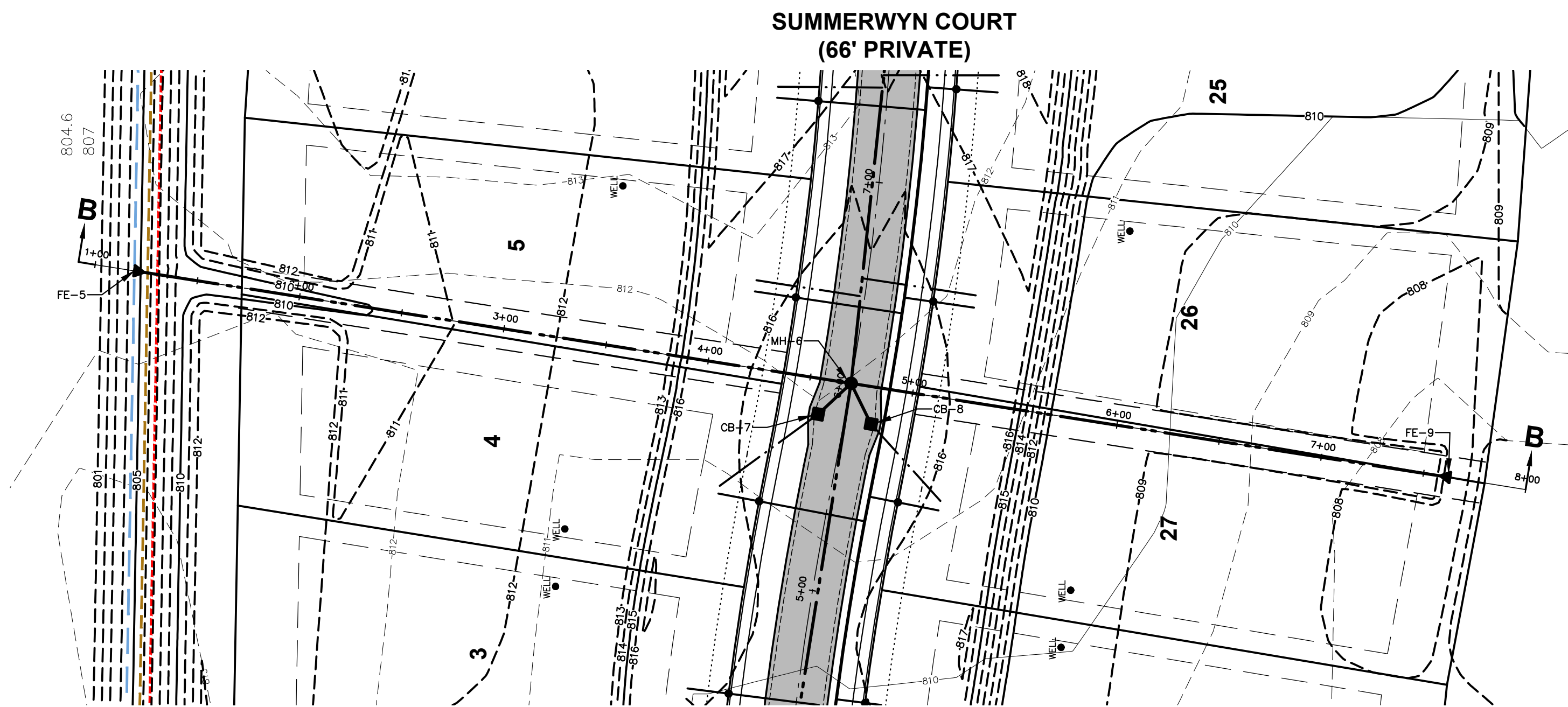
CALEDONIA MEADOWS
SINGLE FAMILY RESIDENTIAL SITE CONDOMINIUM
(OPEN SPACE PRESERVATION)



- LEGEND**
- 780 — EXISTING MAJOR CONTOUR
 - 910 — PROPOSED CONTOUR LINE
 - PROPOSED BIT. PAVEMENT
 - PROPOSED CONC.
 - PROPOSED STORM SEWER

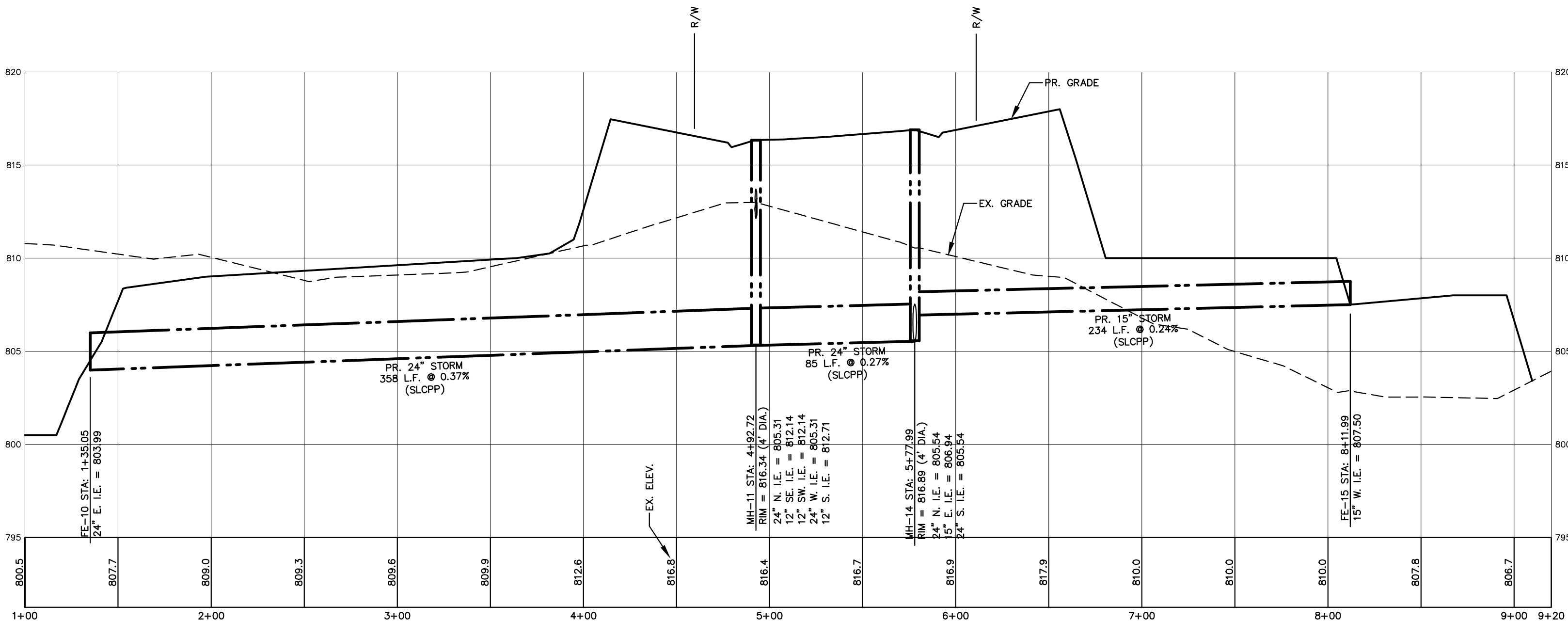
REVISIONS:	DATE: MARCH 26, 2026	APPROVED BY: PCH	DRAWN BY: YS
REVISIONS:	APRIL 7, 2026 - REV PER TWP	REVISIONS:	APRIL 9, 2026 - REV PER TWP
SERVING THE NEEDS OF OUR CLIENTS SINCE 1987			
Roosien & Associates SURVEYING AND ENGINEERING			
2655 HANFIELD AVE. SE GRAND RAPIDS, MI 49525 TEL: (616) 961-7222 FAX: (616) 361-1222			
STREET IMPROVEMENT PLAN CALEDONIA MEADOWS SEC. 23, T5N, R11W GAINES TOWNSHIP, KENT COUNTY, MICHIGAN			
CLIENT: DHS HOLDINGS LLC 3333 DEPOSIT DRIVE NE, SUITE 330 GRAND RAPIDS, MI 49546 616-327-2615			
PROJECT NO. 220026			
SHEET C-202			

CALEDONIA MEADOWS
SINGLE FAMILY RESIDENTIAL SITE CONDOMINIUM
(OPEN SPACE PRESERVATION)



SECTION B-B

SCALE: 1"=50' HORZ. 1"=5' VERT.



SECTION C-C

SCALE: 1"=50' HORZ. 1"=5' VERT.

REVISIONS:

DRAWN BY: YS
APPROVED BY: GH
DATE: MARCH 26, 2026

REVISIONS:

APRIL 7, 2026 - REV PER TWP
APRIL 9, 2026 - REV PER TWP

SERVING THE NEEDS OF OUR
CLIENTS SINCE 1987

Roostin & Associates
SURVEYING AND ENGINEERING

2655 FARMFIELD AVE. SE
GRAND RAPIDS, MI 49525
PHONE: (616) 361-7222
FAX: (616) 361-1222

STORM SEWER PROFILE
CALEDONIA MEADOWS

SEC. 23, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

CLIENT:
DHS HOLDINGS LLC
3333 DEPOSIT DRIVE NE, SUITE 330
GRAND RAPIDS, MI 49546
616-327-2615

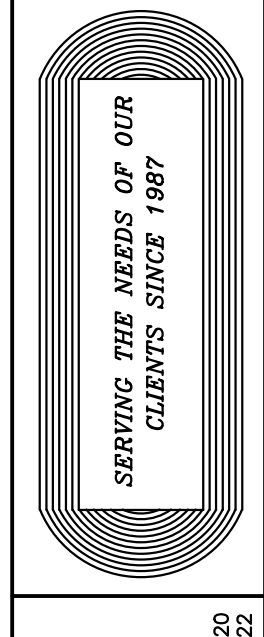
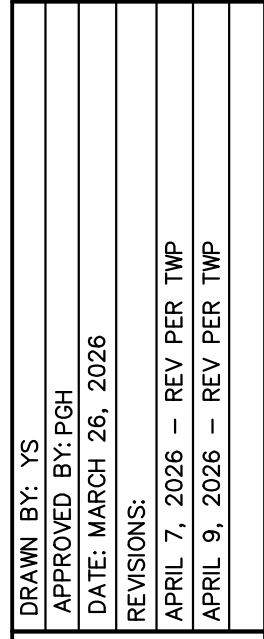
PROJECT NO.

220026

SHEET

C-203

REVISIONS:



Roosten & Associates
SURVEYING AND ENGINEERING

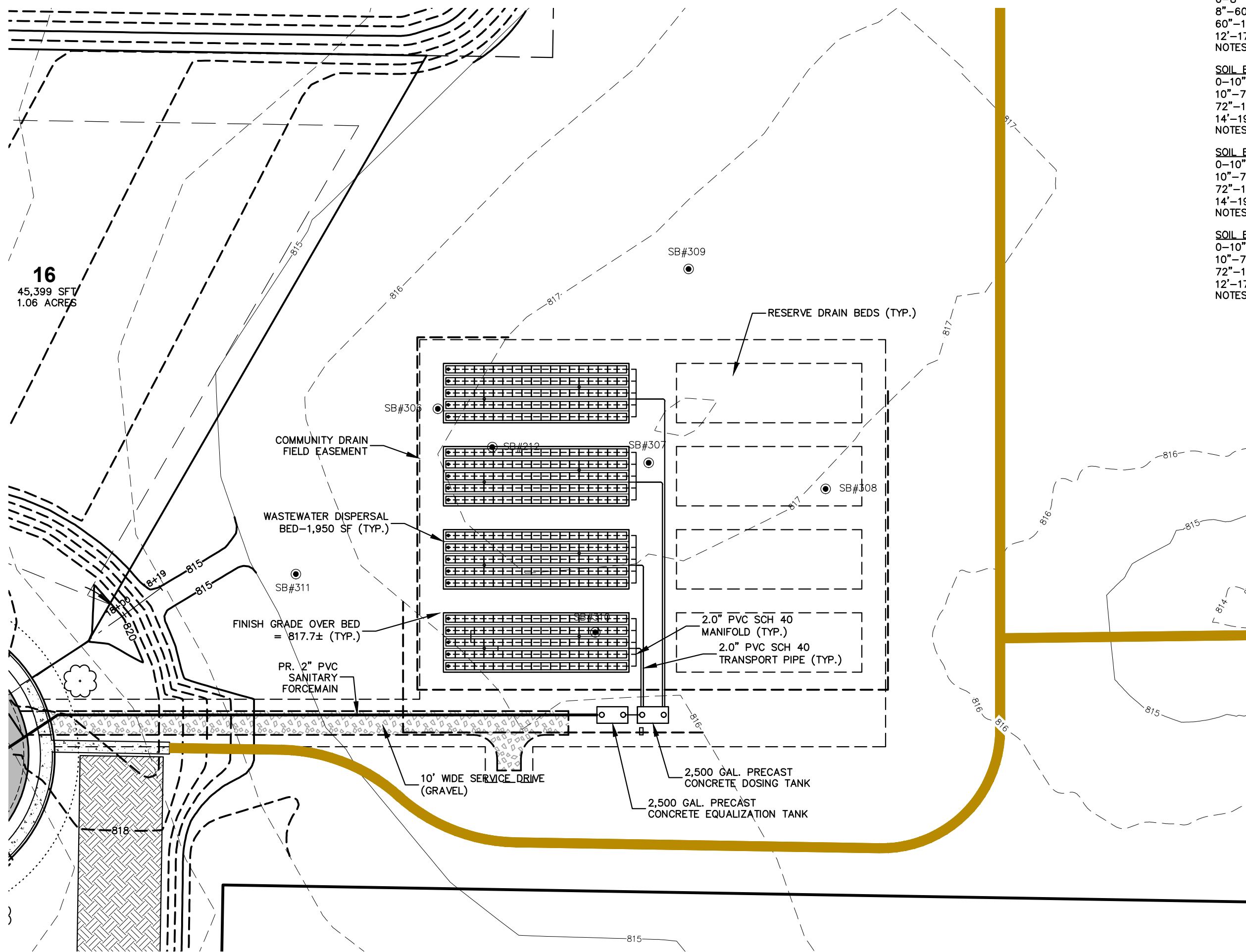
TELE. (616) 361-7272
FAX (616) 361-1818

5055 PLAINFIELD AVE. NE
GRAND RAPIDS, MI 49525

STORM SEWER PROFILE
CALEDONIA MEADOWS
SEC. 23, T5N, R11W
GAINES TOWNSHIP, KENT COUNTY, MICHIGAN

CLIENT:
DHS HOLDINGS LLC
3333 DEPOSIT DRIVE NE, SUITE 330
GRAND RAPIDS, MI 49546
616-327-2615

PROJECT NO. 220026
SHEET C-204



SOIL DISPERSAL SYSTEM LAYOUT
SCALE: 1" = 40'

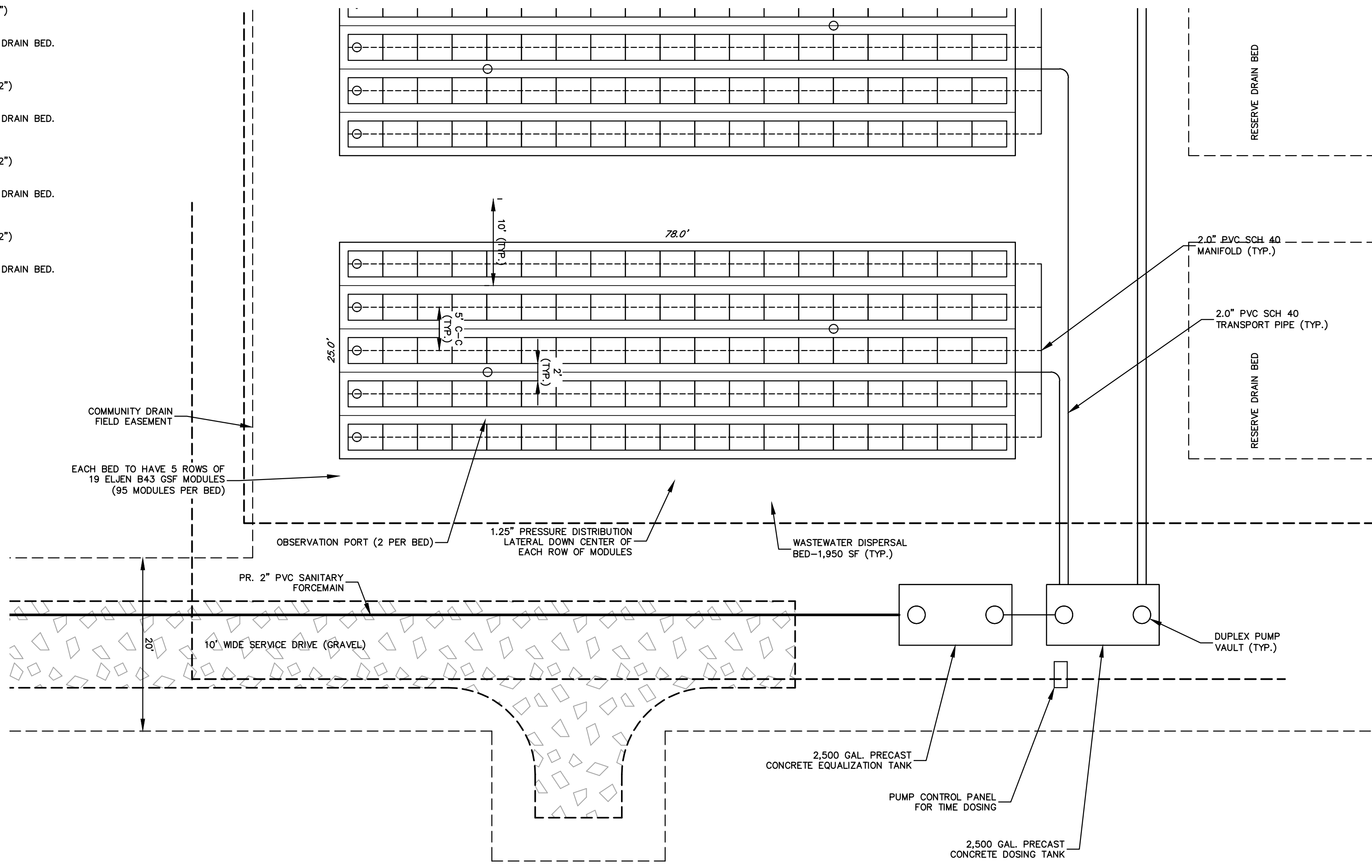
SOIL BORING 212:
0'-10" LOAM TOPSOIL
10'-13" CLAY LOAM (WITH MOTTLING)
13'-17" SAND (FINE TO MED)
NOTES: SUITABLE FOR PARTIAL OUTDOWN WITH ADDITIONAL SUPPORTING INFORMATION/HOLES.

SOIL BORING 306:
0'-8" LOAM TOPSOIL
8'-60" CLAY LOAM (MOTTLING AT 12")
60'-12" SILTY CLAY (WITH MOTTLING)
12'-17" SAND (FINE TO MED)
NOTES: SUITABLE FOR FULL OUTDOWN DRAIN BED.

SOIL BORING 307:
0'-10" LOAM TOPSOIL
10'-72" CLAY LOAM (MOTTLING AT 12")
72'-14" SILTY CLAY (WITH MOTTLING)
14'-19" SAND (FINE TO MED)
NOTES: SUITABLE FOR FULL OUTDOWN DRAIN BED.

SOIL BORING 308:
0'-10" LOAM TOPSOIL
10'-72" CLAY LOAM (MOTTLING AT 12")
72'-14" SILTY CLAY (WITH MOTTLING)
14'-19" SAND (FINE TO MED)
NOTES: SUITABLE FOR FULL OUTDOWN DRAIN BED.

SOIL BORING 310:
0'-10" LOAM TOPSOIL
10'-72" CLAY LOAM (MOTTLING AT 12")
72'-12" SILTY CLAY (WITH MOTTLING)
12'-17" SAND (FINE TO MED)
NOTES: SUITABLE FOR FULL OUTDOWN DRAIN BED.



SOIL DISPERSAL SYSTEM DETAIL
SCALE: 1" = 10'

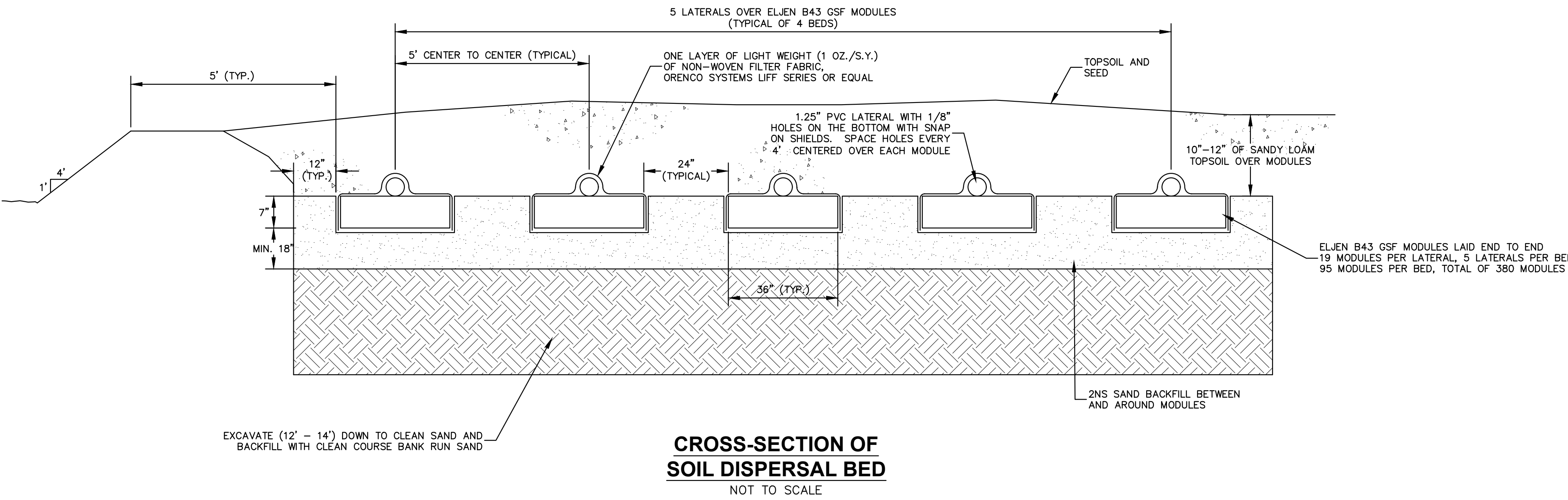
PRELIMINARY BASIS OF DESIGN:

FLOWS
NUMBER OF HOMES = 30
AVERAGE OCCUPANCY = 2.54 PEOPLE/HOME
(2020 CENSUS FOR GAINES TOWNSHIP)
AVERAGE FLOW PER CAPITA = 60 GPD
30 HOMES x 2.54 PEOPLE x 60 GPD = 4,572 GPD
PEAK FLOW PER CAPITA = 75 GPD (25% SAFETY FACTOR)
30 HOMES x 2.54 PEOPLE x 75 GPD = 5,715 GPD
DESIGN FLOW = 7,500 GPD
31% PEAKING FACTOR

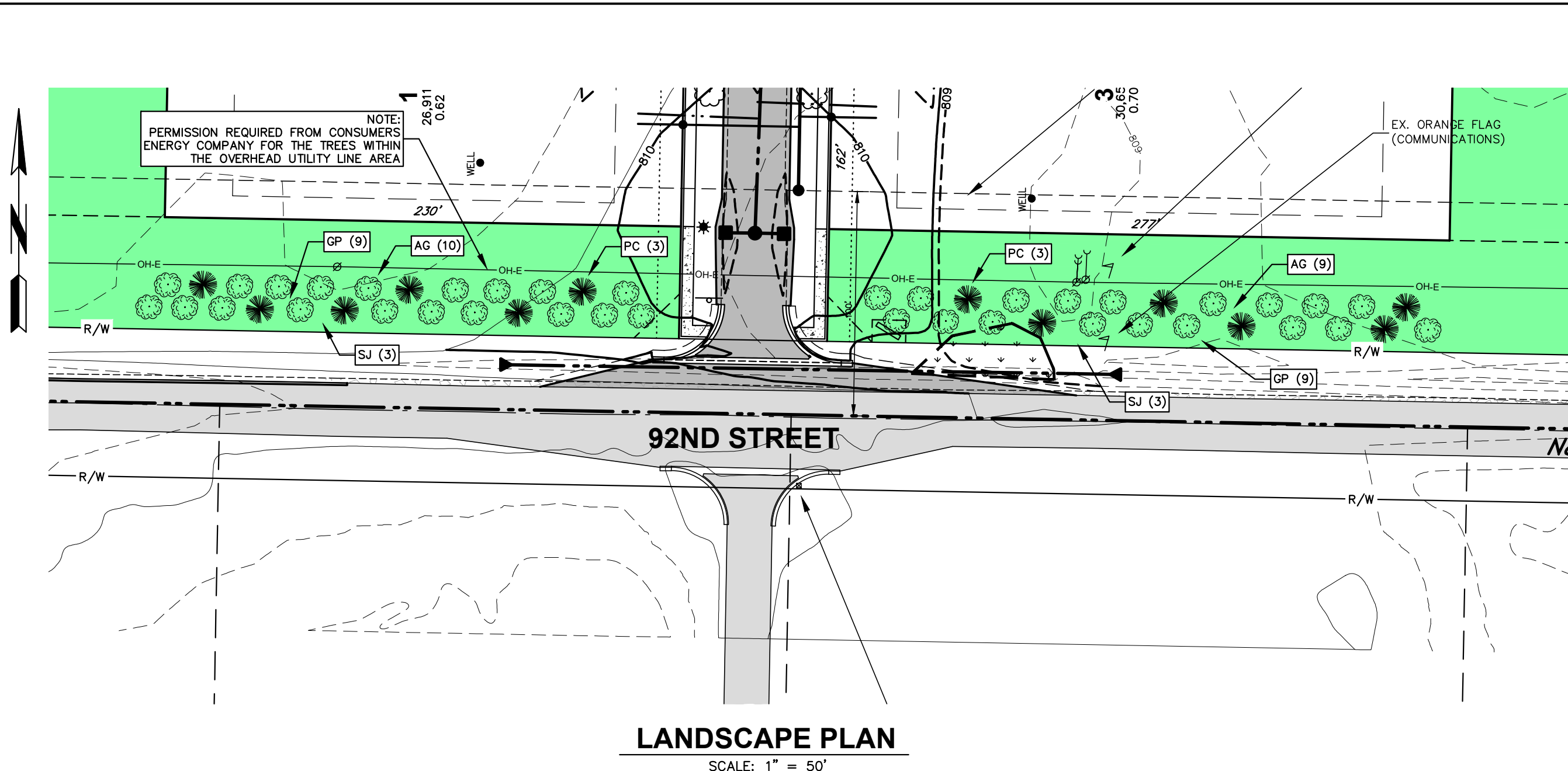
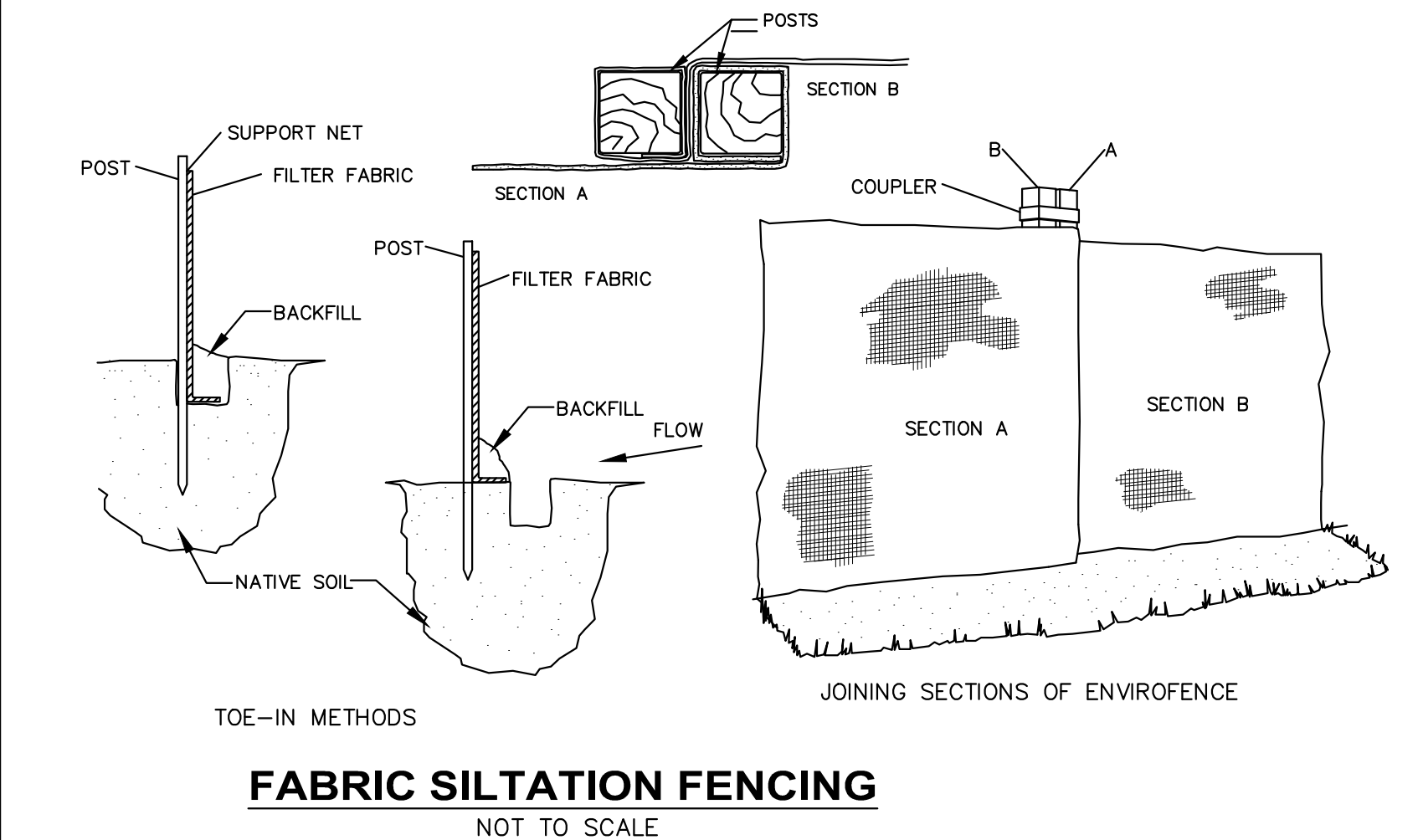
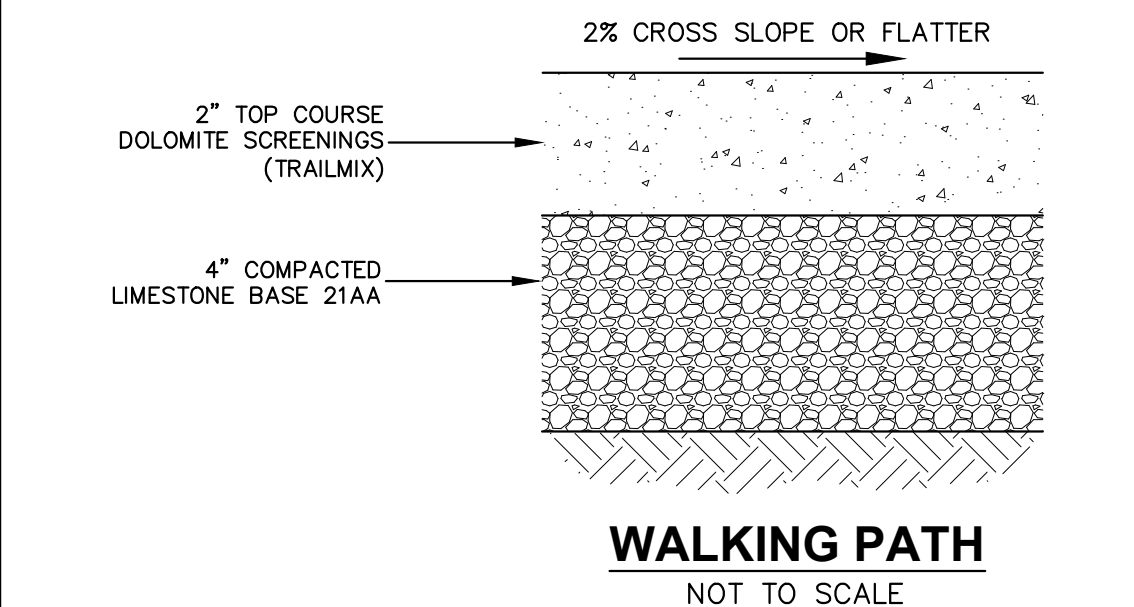
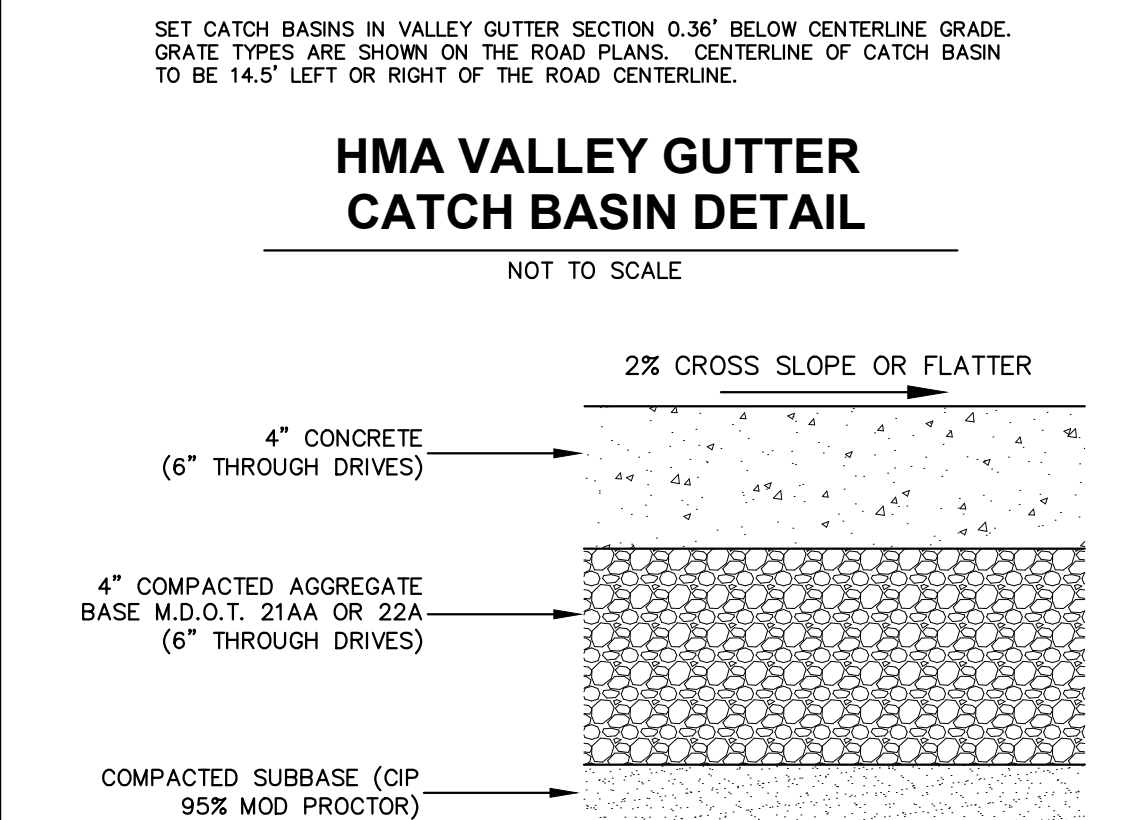
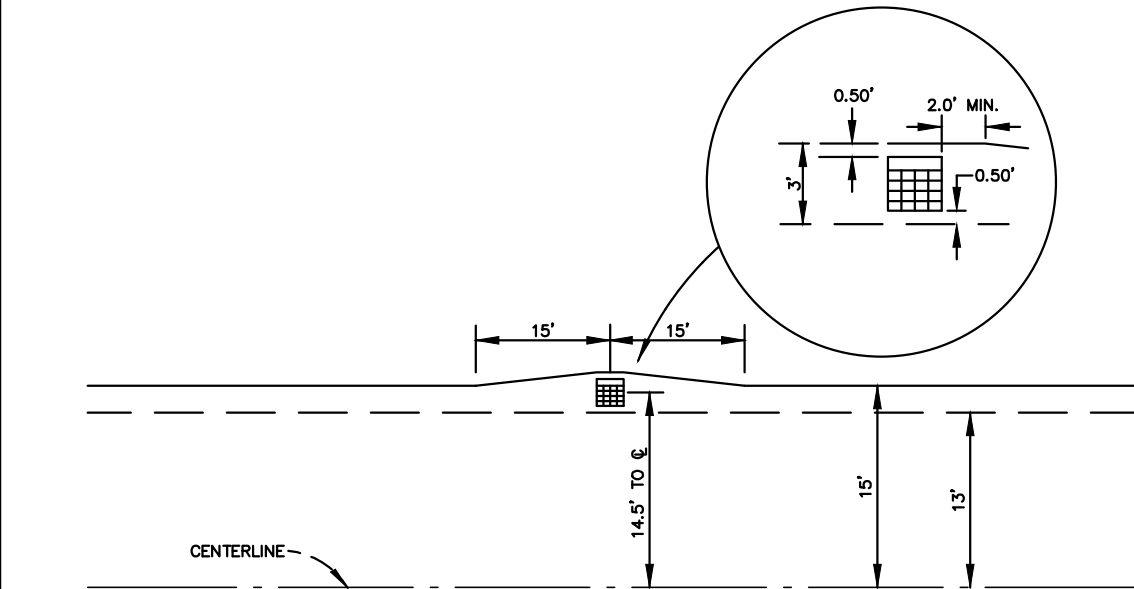
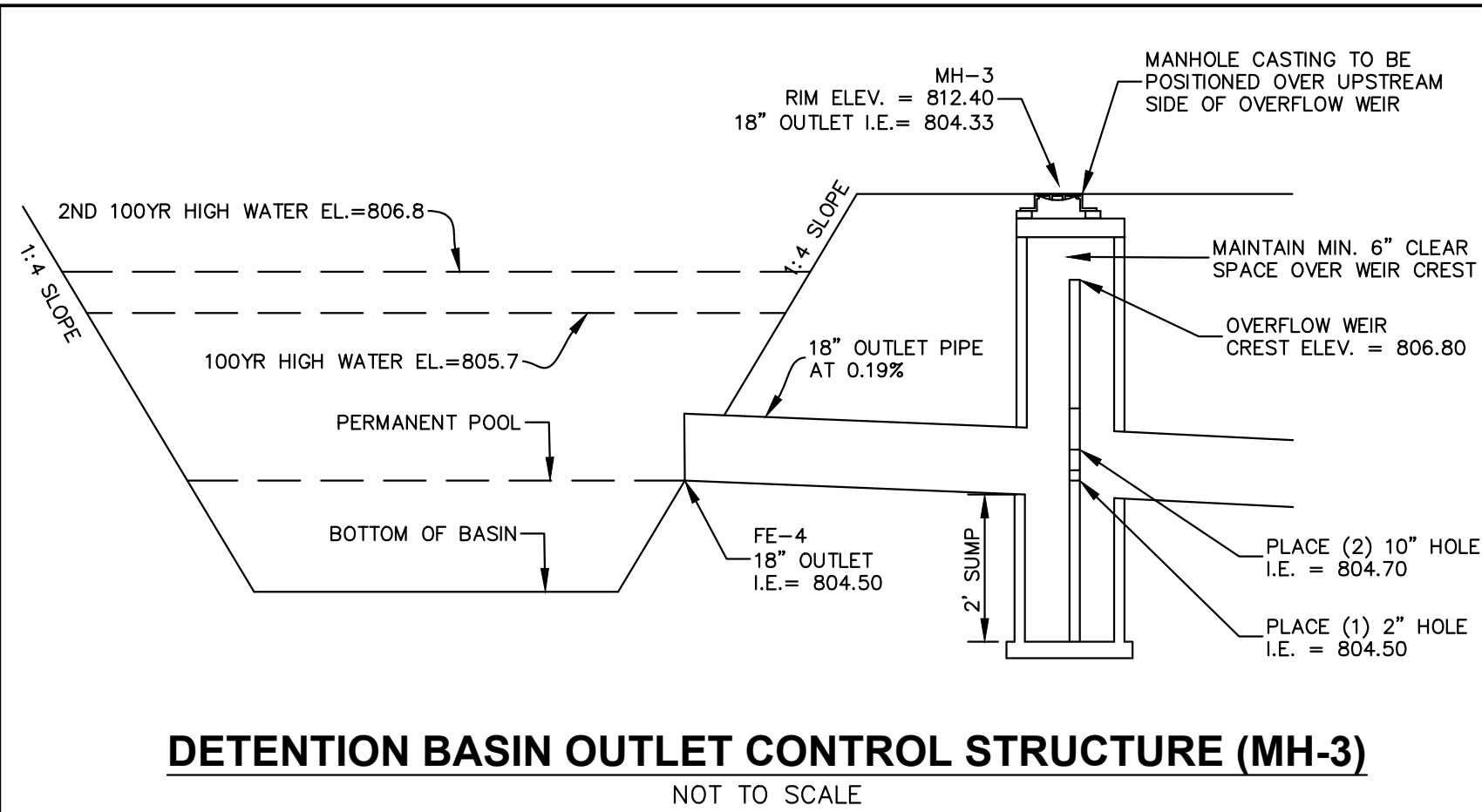
SOIL DISPERSAL BED SIZE
ONE BED = 25 FT. x 78 FT = 1,950 S.F.
FOUR BED = 7,800 S.F.

LOADING RATE
TYPICAL LOADING RATE
5,715 GPD/7,800 SFT = 0.73 GPD/SFT
ELJEN GSF BED DISPERSAL
7,500 GPD/7,400 SFT = 1.0 GPD/SFT

TIME CONTROLLED DOSING
AVERAGE DAILY FLOW RATE = 4,572 GPD
GALLONS PER DOSE = 100 GAL/DOSE
11 DOSES PER DAY PER BED
11 DOSES x 4 BED = 44 DOSES
ONE DOSE EVERY 33 MIN. +/-
ONE DOSE EVERY 2 HR-11 MIN +/- PER BED

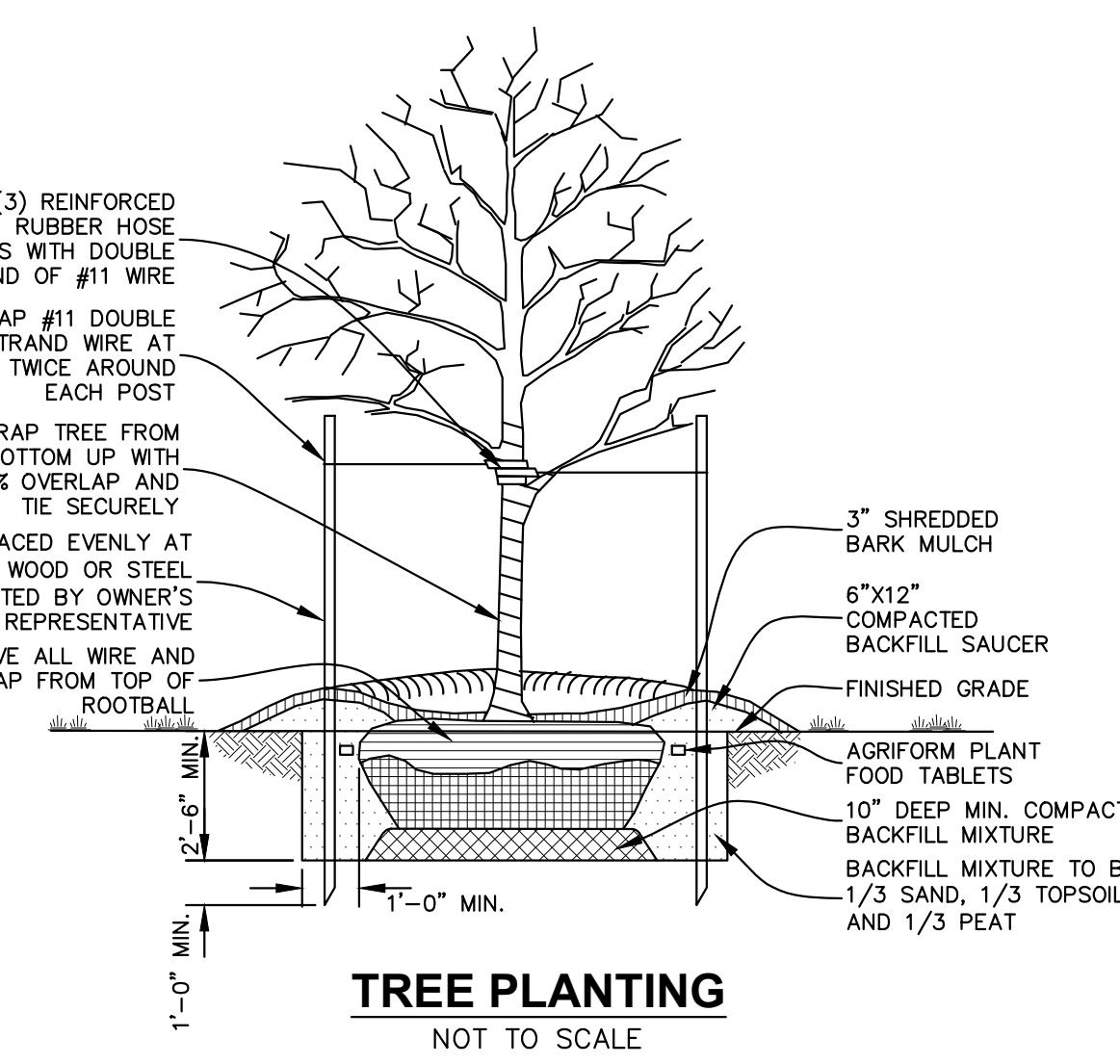


**CROSS-SECTION OF
SOIL DISPERSAL BED**
NOT TO SCALE

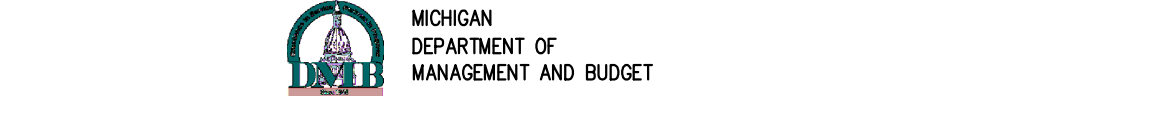


STREET TREE PLANT SCHEDULE:				
TREES	COMMON NAME	SIZE	CONTAINER	QUANTITY
AR	RED SUNSET MAPLE	2.5" CAL.	B&B	15
GP	PRINCETON SENTRY GINKGO	2.5" CAL.	B&B	15

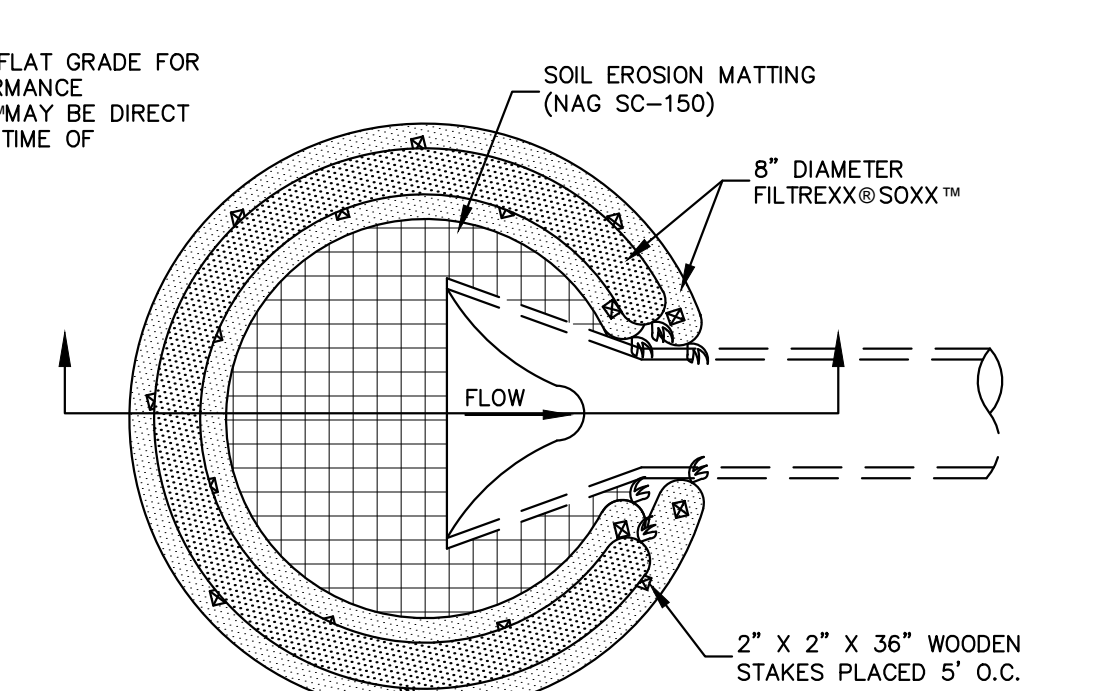
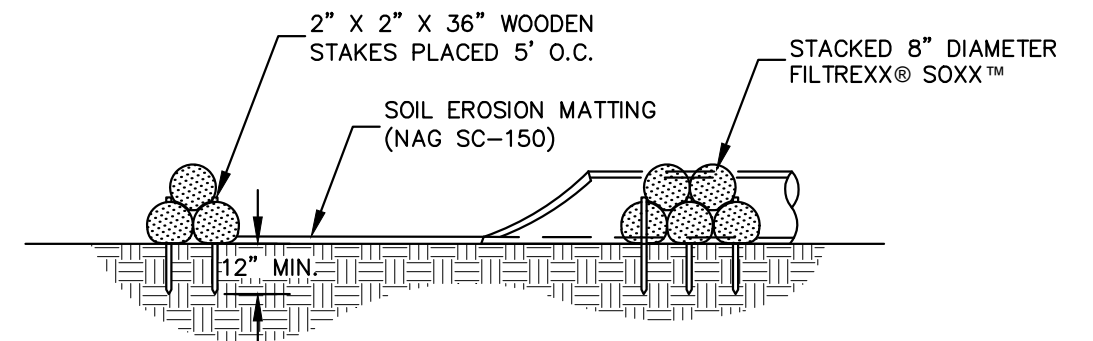
BUFFER ZONE PLANT SCHEDULE:				
TREES	COMMON NAME	SIZE	CONTAINER	QUANTITY
SJ	SPARTAN JUNIPER	6' HT.	B&B	6
PC	NORWAY SPRUCE	6' HT.	B&B	6
AG	FLAME MAPLE	2" CAL.	B&B	19
GP	PRINCETON SENTRY GINKGO	2.5" CAL.	B&B	18



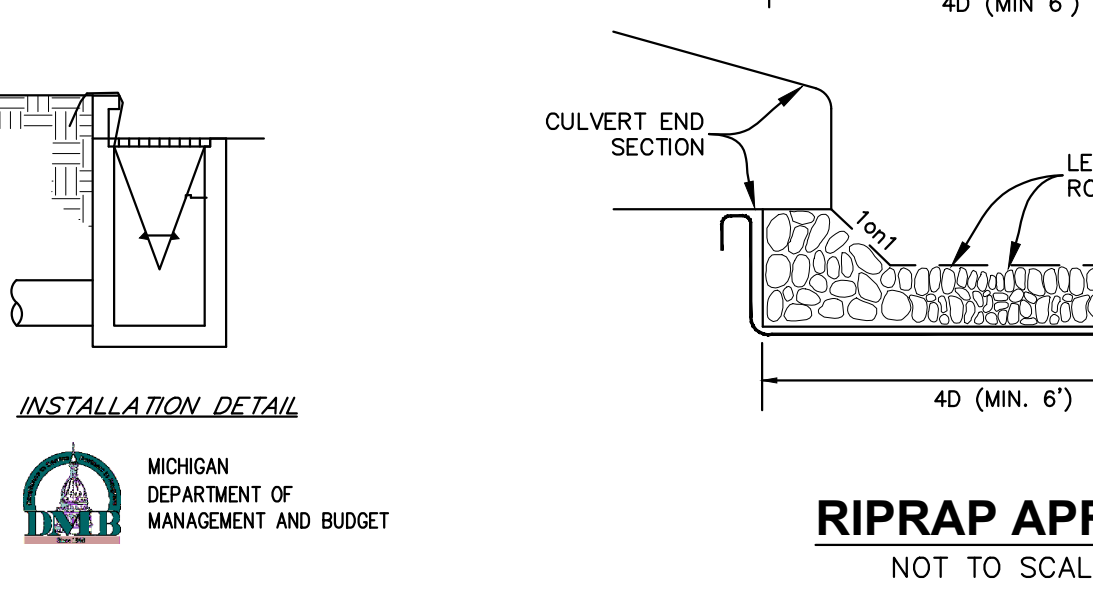
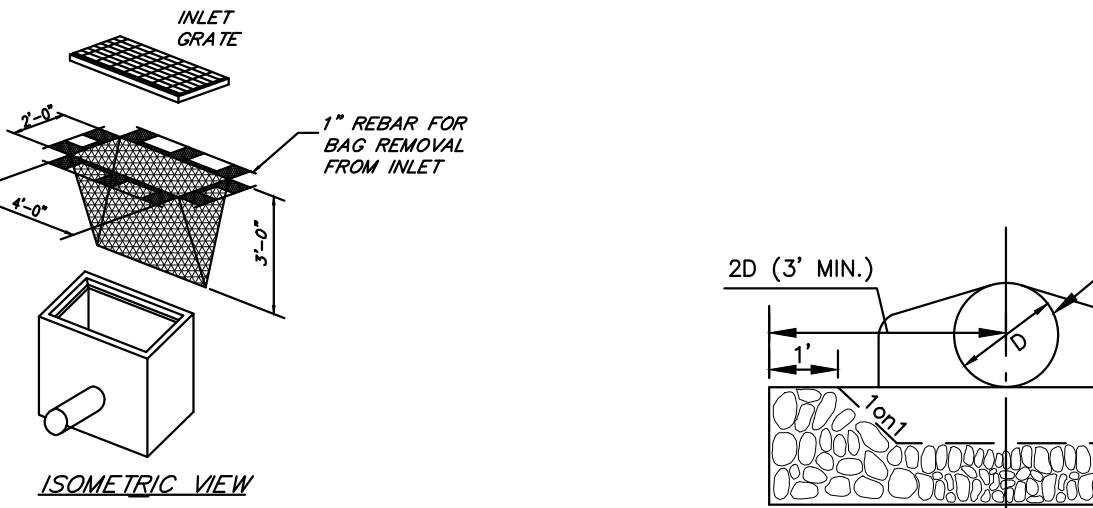
INLET PROTECTION - FABRIC DROP SPECIFICATIONS	
When	• When sediment laden stormwater requires treatment before entering a stormwater drainage system.
Why	• To prevent sediment from entering stormwater systems.
Where	• Use in or at stormwater inlets, especially at construction sites or in streets.
How	1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" rebar for removal from inlet. 4. Flaps of bag that extend beyond the bag can be buried in soil in earth areas.
Maintenance	• Drop inlet filters should be inspected routinely and after each major rain event. • Damaged filter bags should be replaced. • Clean and/or replace filter bag when 1/2 full. • Replace clogged fabric immediately. • If needed, initiate repairs immediately upon inspection. • Remove entire protective mechanism when upgradient areas are stabilized and streets have been swept.
Limitations	• Can only accommodate small flow quantities. • Requires frequent maintenance. • Ponding may occur around storm drains if filter is clogged.



INLET PROTECTION - FABRIC DROP	
When	• When sediment laden stormwater requires treatment before entering a stormwater drainage system.
Why	• To prevent sediment from entering stormwater systems.
Where	• Use in or at stormwater inlets, especially at construction sites or in streets.
How	1. A filter fabric bag is hung inside the inlet, beneath the grate. 2. Replace grate, which will hold bag in place. 3. Anchor filter bag with 1" rebar for removal from inlet. 4. Flaps of bag that extend beyond the bag can be buried in soil in earth areas.
Maintenance	• Drop inlet filters should be inspected routinely and after each major rain event. • Damaged filter bags should be replaced. • Clean and/or replace filter bag when 1/2 full. • Replace clogged fabric immediately. • If needed, initiate repairs immediately upon inspection. • Remove entire protective mechanism when upgradient areas are stabilized and streets have been swept.
Limitations	• Can only accommodate small flow quantities. • Requires frequent maintenance. • Ponding may occur around storm drains if filter is clogged.



FILTREXX® INLET PROTECTION DETAIL NOT TO SCALE

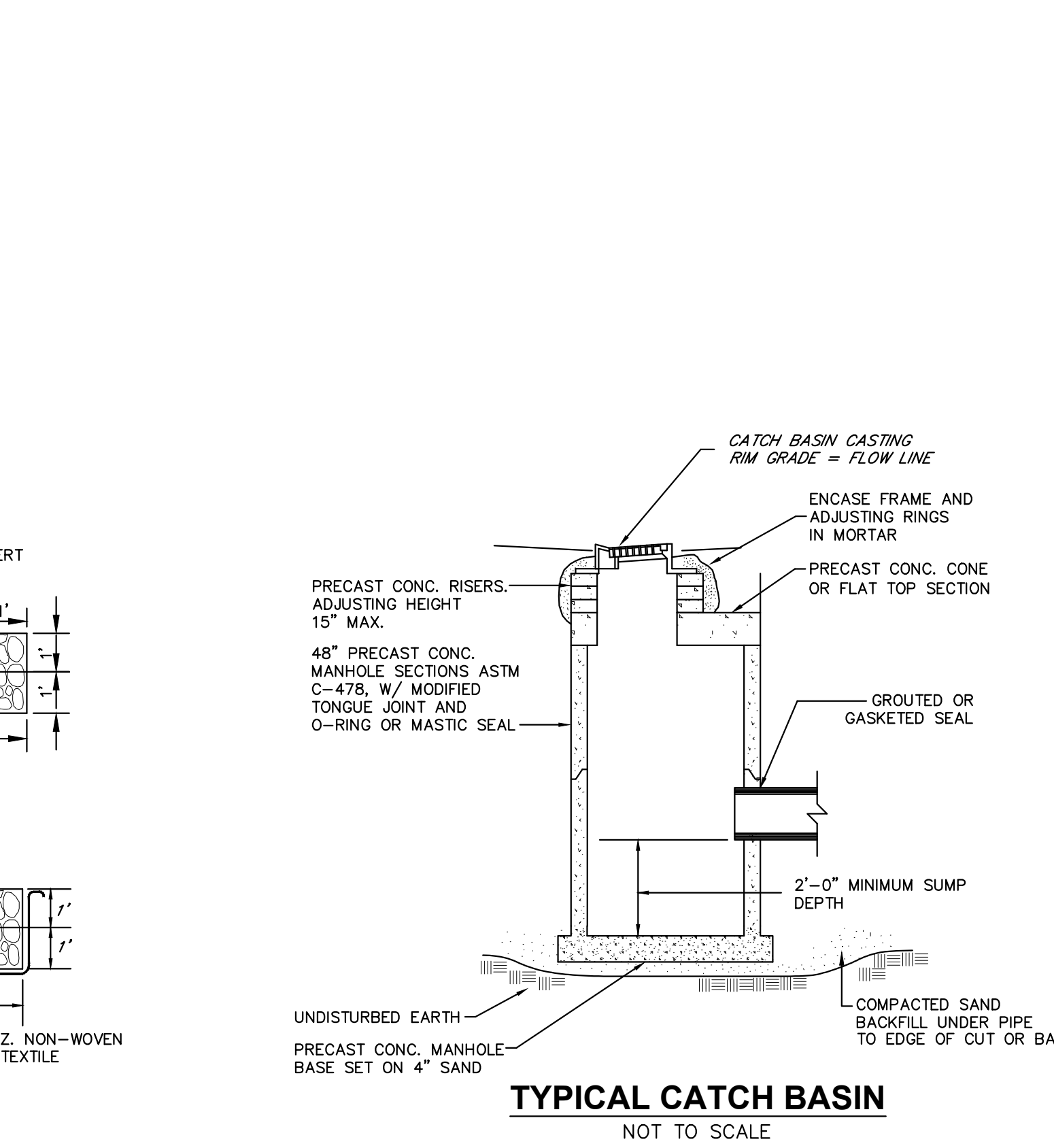


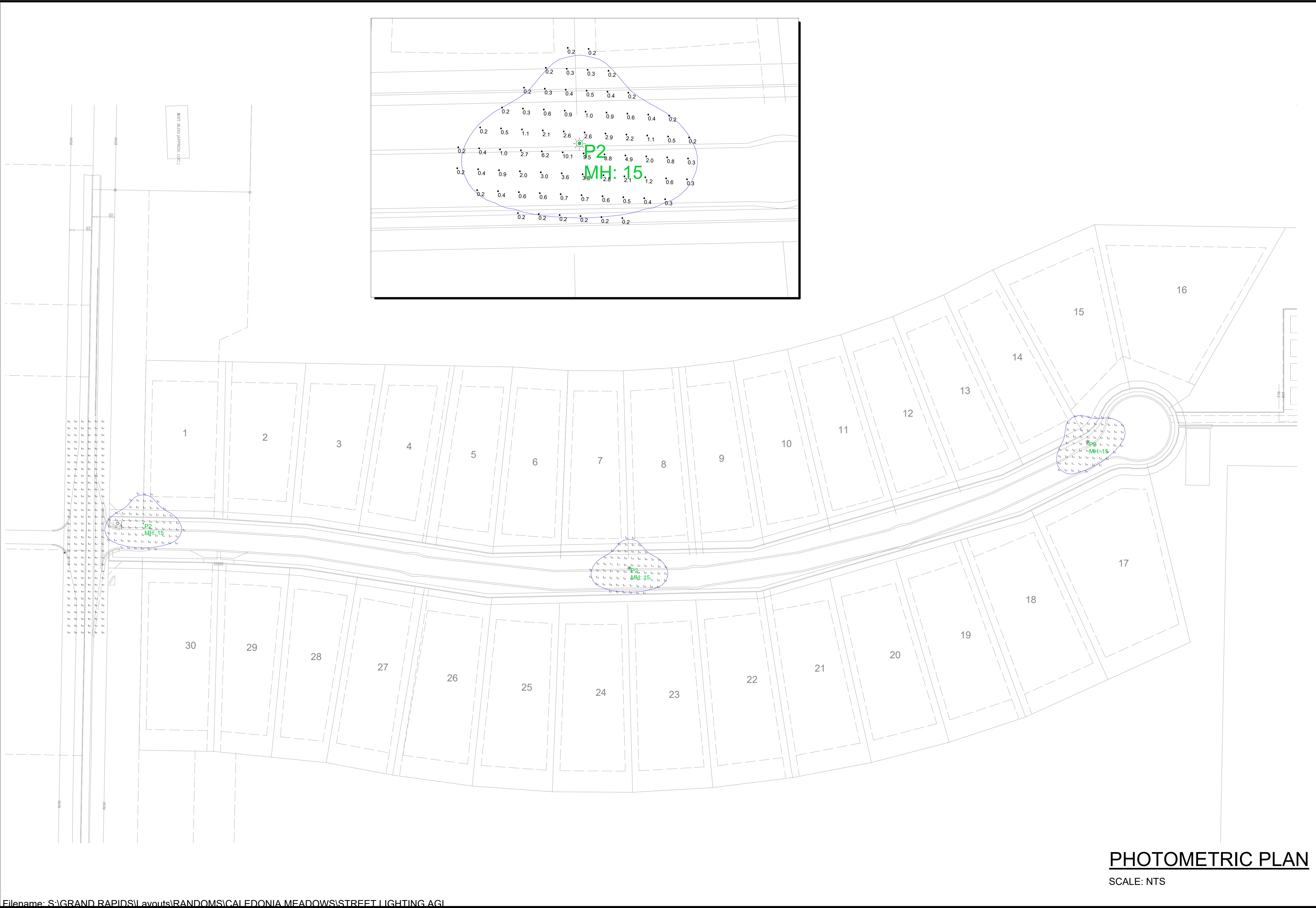
PROJECT NOTES AND SPECIFICATIONS

- GENERAL NOTES**
- A) ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, CODES, RULES AND REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY STATE AND LOCAL AGENCIES RELATED TO SOIL EROSION AND SEDIMENTATION.
- B) ALL ITEMS OF WORK NOT COVERED BY THESE SPECIFICATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE GAINES TOWNSHIP SPECIFICATIONS AND IN ACCORDANCE WITH THE LATEST EDITION OF THE STATE OF MICHIGAN DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE MOST STRINGENT REQUIREMENTS AS LISTED IN THE PLANS AND SPECIFICATIONS SHALL APPLY.
- C) ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. EXACT LOCATIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR BEFORE BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS DIG AT 811/482-7171 AT LEAST 3 WORKING DAYS PRIOR TO ANY UNDERGROUND CONSTRUCTION.
- D) CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER 48 HOURS BEFORE WORK BEGINS.
- E) ROOSSEN AND ASSOCIATES AS THE DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE OR LIABLE FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE DRAWINGS, SPECIFICATIONS AND THE DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH RISE FROM OTHERS' FAILURE TO OBTAIN AND FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED.
- F) CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY, CONSTRUCTION MEANS, CONTROLS, TECHNIQUES, SEQUENCES AND PROCEDURES.

- GENERAL SPECIFICATIONS**
- A) ALL CONSTRUCTION AREAS SHALL BE CLEARED OF ALL TREES, BRUSH, WEEDS, ETC. ALL SPOIL MATERIAL IS TO BE DISPOSED OF IN AREAS DESIGNATED BY THE OWNER AND IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- B) STRIP ALL TOPSOIL AND ORGANIC MATERIAL ON SITE WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT WHERE GRADES ARE TO BE CHANGED, OR IN AREAS TO BE IMPROVED. IF MATERIAL IS FREE OF ROOTS, ROCKS AND DEBRIS, AND IS APPROVED BY THE ENGINEER, IT SHALL BE TEMPORARILY STOCKPILED ON SITE FOR LATER USE.
- C) CONSTRUCTION ACCESS AND MATERIAL STORAGE IS LIMITED TO THE AREAS DESIGNATED ON THE DRAWINGS OR AS APPROVED BY THE OWNER.
- D) WHERE IT IS NECESSARY TO WORK OUTSIDE THE PROPERTY CONTROLLED BY THE OWNER, THE CONTRACTOR SHALL OBTAIN LEGAL AUTHORITY FROM ADJACENT PROPERTY OWNERS TO COMPLETE THE WORK AS OUTLINED IN THESE DOCUMENTS.
- E) ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE BROUGHT TO FINISH GRADES AS SHOWN ON THE DRAWINGS. ALL AREAS DISTURBED SHALL BE RESTORED WITH A MINIMUM OF 4" OF TOPSOIL, SEEDED AND MULCHED.
- F) THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION ON THE NEED FOR IMPORTED OR EXPORTED MATERIAL. THE PROPOSED GRADING PLAN MAY NOT PROVIDE FOR A "BALANCED" SITE.
- G) ALL AREAS DISTURBED DUE TO SITE ACCESS SHALL BE RESTORED TO THE PRECONSTRUCTION CONDITION OR BETTER.
- H) BACKFILL AND COMPACTION: ALL BACKFILL SHALL BE CLEAN, FREE OF LARGE ROCKS, DEBRIS AND ORGANIC MATERIAL. COMPACT ALL BACKFILL TO 95% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR TEST, ASTM D-1557. BACKFILL SHALL BE PLACED IN A MAXIMUM OF 12" LIFTS.
- I) STORM SEWER CATCH BASINS TO BE 4' DIA., UNLESS OTHERWISE NOTED. STORM SEWER OUTLETS TO BE 2' DIA., UNLESS OTHERWISE NOTED. ALL CATCH BASINS AND OUTLET STRUCTURES SHALL HAVE A 2' DEEP SUMP. CATCH BASIN GRATE IN VALLEY GUTTER SAG SHALL BE E.J.I.W. #7030, IN VALLEY GUTTER ON GRADE SHALL BE E.J.I.W. #7065, AND IN REAR YARD SWALE SHALL BE E.J.I.W. #1040 O2 GRATE.

- SITE CONCRETE FLATWORK**
- A) MATERIALS: READY MIXED CONCRETE: ASTM C94. MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3,500 PSI FOR ALL EXTERIOR CONCRETE. 1. SLUMP RANGE: 2 INCHES TO 4 INCHES. 2. AIR CONTENT: 4 PERCENT TO 7 PERCENT. 3. LIMESTONE AGGREGATE SHALL BE USED.
- B) CURING MATERIAL: ASTM C171 WHITE, OPAQUE POLYETHYLENE FILM TYPE.
- C) EXPANSION JOINT FILERS: SHALL BE ASTM D1751 PREFORMED, BITUMINOUS FIBER TYPE WITH EXPANSION BOARD CAP AND REMOVABLE TOP CAP SECTION.
- D) CONCRETE SEALER: SEALANT TO BE 2-PART URETHANE PAVING SEALANT. SEALANT TO BE POURABLE, CHEMICALLY CURING COMPLYING WITH FS SS-S-200 WITH MINIMUM MOVEMENT CAPABILITY OF 12.5 PERCENT. HYDROZO, ENVIROSEAL 40.
- E) CONSTRUCTION JOINTS FLATWORK 1) MAXIMUM DISTANCE BETWEEN EXPANSION JOINTS 100 FEET, UNLESS OTHERWISE SHOWN. SCORE CONTROL JOINTS EQUAL TO THE WIDTH OF THE WALK, OR DRIVE BUT NOT TO EXCEED THE LESSER OF 12 FEET OR 24 TIMES THE THICKNESS. 2) INSTALL EXPANSION JOINTS MATERIAL AT ABUTMENT TO CURBS AND ADJACENT STRUCTURES, UNLESS OTHERWISE SHOWN.
- F) CONSTRUCTION JOINTS CURBS AND GUTTERS 1) MAXIMUM CONSTRUCTION BETWEEN EXPANSION JOINTS 20 FEET, STRAIGHT CURB 10 FEET.
- G) PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAIL SHOWN ON THIS DRAWING.
- H) PRIOR TO PLACEMENT OF GRAVEL, THE SAND SUBBASE SHALL BE ROLLED TO OBTAIN A MINIMUM OF 95% OF MAXIMUM DENSITY PER THE MODIFIED PROCTOR TEST, ASTM D-1557.
- I) PRIOR TO PLACEMENT OF ASPHALT, THE GRAVEL SHALL BE PROOF ROLLED AND COMPACTED TO 98% OF MAXIMUM UNIT DENSITY PER THE MODIFIED PROCTOR TEST, ASTM D-1557.





CTA LIGHTING & CONTROLS
908C West River Center Dr
Comstock Park, MI 49321
616.647.2400
www.cta-lc.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.

This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

SALES
QUOTES

DATE
4.7.2026

DESIGNER
J YONKERS

REVISIONS

DATE	NAME

PHOTOMETRIC PLAN

SCALE: NTS

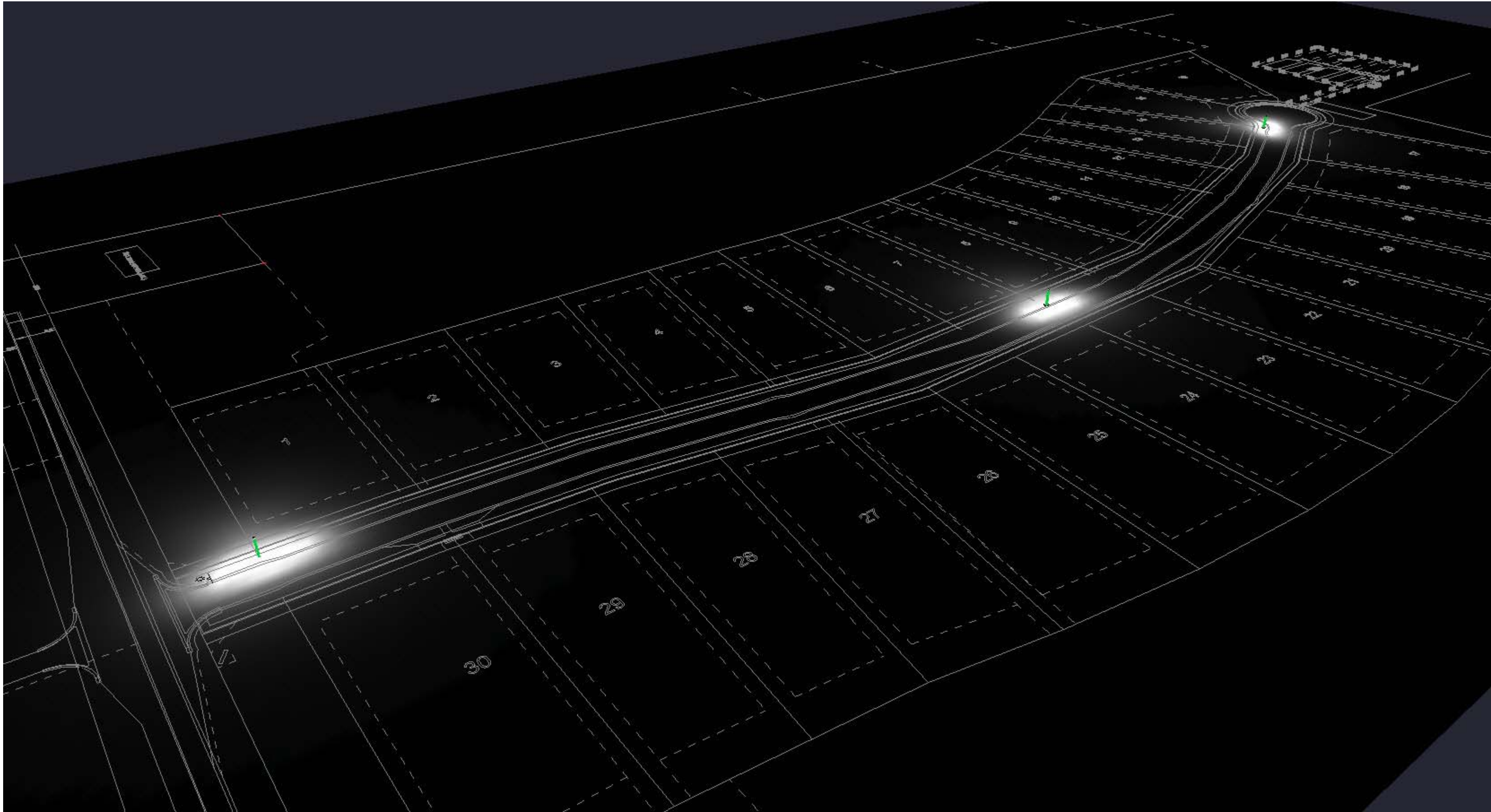
SHEET

1

Luminaire Schedule											
Scenario: GEN											
SYMBOL	QTY	LABEL	ARRANGMENT	LLF	[MANUFAC]	DESCRIPTION	MNT HEIGHT	MNT TYPE	TLT WATTS	LUMENS	
	3	P2	Single	0.921	Sternberg Lighting	XX-M960SRLED-XX-24L-27K-T2-MDL018	15	POST	345.9	12118	

Calculation Summary							
Scenario: GEN							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
LIGHT TRESPASS	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.
STREET	Illuminance	Fc	1.35	10.3	0.2	6.75	51.50

NOTES:
- CALC AT GRADE



SCHEDULES
SCALE: NTS



CTA LIGHTING & CONTROLS
908C West River Center Dr
Comstock Park, MI 49321
616.647.2400
www.cta-lc.com

PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION
Based on the information provided, all dimensions and luminaire locations represent a recommended application. The engineer and/or architect must determine the applicability of the layout regarding existing or future field conditions.

This lighting layout represents illumination levels calculated using laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved method. Actual performance of a manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in LEDs, and other field conditions. Calculations may not include obstructions such as buildings, curbs, landscaping, or other architectural elements. Future nomenclature may not include mounting hardware or poles. This layout is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

DESIGNED FOR:

CALEDONIA MEADOWS

SALES
QUOTES

DATE
4 . 7 . 2026

DESIGNER
J YONKERS

REVISIONS

DATE	NAME

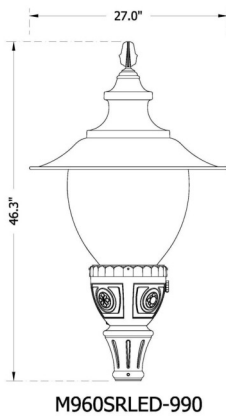
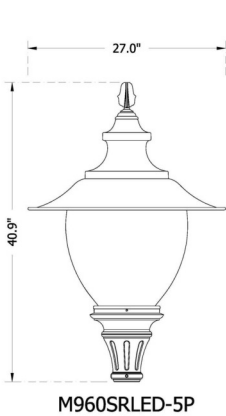
SHEET
2

Project Name

Qty

Type

Catalog / Part Number



7 Year Warranty



Mounting Configuration

Wall Mount

Post Top

1 Arm Mount

1 Arm & Post Top

2 Arm Mount @ 180°

2 Arm Mount @ 90°

2 Arm @ 180° & Post Top

3 Arms @ 120°

3 Arms @ 90°

3 Arm @ 120° & Post Top

4 Arms @ 90°

4 Arm @ 90° & Post Top

1 Arm Mid-Mount

2 Arm Mid-Mount @ 180°

Pier Base

Description

The M960SRLED Monterro luminaire is supplied with a cast aluminum finial, spun aluminum shade and a solid, cast aluminum roof which includes optimized heat sinks to provide maximum life and performance for the LED light sources. The extended spun roof helps control uplight while creating a unique style in any application. The acorn is sealed to the cast aluminum roof to provide a moisture free and bug-free optics chamber for the LED light source.

EPA: 1.4 (ft²) | WEIGHT: 48 LBS

Features

Mounting Configuration

- 1W: Wall Mount
- PT: Post Top
- 1A: 1 Arm Mount
- 1APT: 1 Arm & Post Top
- 2A: 2 Arm Mount @ 180°
- 2A90: 2 Arm Mount @ 90°
- 2APT: 2 Arm @ 180° & Post Top
- 3A: 3 Arms @ 120°
- 3A90: 3 Arms @ 90°
- 3APT: 3 Arm @ 120° & Post Top
- 4A: 4 Arms @ 90°
- 4APT: 4 Arm @ 90° & Post Top
- 1AM: 1 Arm Mid-Mount
- 2AM: 2 Arm Mid-Mount @180°
- 450PB: Pier Base

Optional Control Receptacle

- R7: 7-Pin control receptacle only
- SRR7: Roof Mounted 7-Pin Control Receptacle Only

Optional Control

- PE: Twist-Lock Photocontrol (120V-277V)
- PE4: Twist-Lock Photocontrol (347V-480V)
- SC: Shorting Cap
- PEC: Electronic Button Photocontrol (120V-277V)
- PEC4: Electronic Button Photocontrol (480V)

Finish


Black
Textured


White
Textured


Park
Green
Textured


Arch
Medium
Bronze
Textured


Dark
Bronze
Textured


Verde
Green


Swedish
Iron


Old
World
Gray
Textured


Old
Iron


Rust


Weathered
Cedar
Brown


Weathered
Black


Two
Tone


Custom
Match

CCT - Color Temp (K)


2,700K


3,000K


3,500K


4,000K


5,000K

Distribution Type


Type 2


Type 3


Type 4


Type 5

IP Rating



Certifications



Optional Fuse	FHD: Double Fuse and Holder	
Optional House Side Shield	BLOC: Back Light Optical Control	
Optional Fixed Dimming Resistor Board	FDRB: Fixed Dimming Resistor Board	
Physical		
Fixture	M960SRLED: Monterro	
Fitter	5P: Slip fit 3" OD x 3" tall tenon/pole 73: Slip fit 3" OD x 4" tall tenon/pole 74: Slip fit 4" OD x 4" tall tenon/pole 990: Utility-Fitter, Slip fit 3" OD x 3" tall tenon/pole 991: Utility-Fitter, Slip fit 3" OD x 3" tall tenon/pole 992: Utility-Fitter, Slip fit 3" OD x 3" tall tenon/pole 993: Utility-Fitter, Slip fit 3" OD x 3" tall tenon/pole 994: Utility-Fitter, Slip fit 4" OD x 3" tall tenon/pole 995: Utility-Fitter, Slip fit 4" OD x 3" tall tenon/pole BD4: Slip fit 4" OD x 5" tall tenon/pole BD5: Slip fit 5" OD x 6" tall tenon/pole BD7: Slip fit 7" OD x 1" tall tenon/pole OL3: Oak-Leaf, Slip fit 3" OD x 3" tall tenon/pole OL4: Oak-Leaf, Slip fit 4" OD x 3" tall tenon/pole 588: Art-Deco, Slip fit 3" OD x 3" tall tenon/pole C2097: Low-Profile, Slip fit 7" OD x 1" tall tenon/pole	
Optional Twist Lock Acorn	T: Twist-Lock Option for Acorn	
Lens	A: Clear Textured Acrylic Acorn P: Clear Textured Poly Acorn	
Optional Receptacle	GFI: 120V, 15A Duplex GFI for Utility Fitter	
Optional Terminal Block	TB: Terminal Block	
Finish	BKT: Black Textured PGT: Park Green Textured DBT: Dark Bronze Textured SI: Swedish Iron OI: Old Iron WBR: Weathered Brown WBK: Weathered Black CM: Custom Match	WHT: White Textured ABZT: Arch Medium Bronze Textured VG: Verde Green OWGT: Old World Gray Textured RT: Rust CD: Cedar TT: Two Tone
Light Source		
LED	32L: 32 LEDs 16L: 16 LEDs	24L: 24 LEDs 12L: 12 LEDs
CCT - Color Temp (K)	27: 2,700K 35: 3,500K 50: 5,000K	30: 3,000K 40: 4,000K
Distribution Type	T2: Type 2 T4: Type 4	T3: Type 3 T5: Type 5
Electrical and control		
Driver	MDL008: 120V-277V,80mA MDL014: 120V-277V,140mA MDL016: 120V-277V,160mA MDL018: 120V-277V,180mA	MDH008: 347V-480V,80mA MDH014: 347V-480V,140mA MDH016: 347V-480V,160mA MDH018: 347V-480V,180mA

Lumen Chart(s)

Model #	T2 DELIVERED LUMENS	BUG	EFFICACY (LPW)	T3 DELIVERED LUMENS	BUG	EFFICACY (LPW)	T4 DELIVERED LUMENS	BUG	EFFICACY (LPW)	T5 DELIVERED LUMENS	BUG	EFFICACY (LPW)	WATTAGE
32L40T_-MDL016	14495	B3U3G3	108.2	14650	B3U3G3	109.3	14760	B3U3G3	110.1	15340	B4U3G3	114.5	134
32L30T_-MDL016	13820	B3U3G3	103.1	13970	B3U3G3	104.3	14075	B3U3G3	105.0	14625	B4U3G3	109.1	134
32L27T_-MDL016	12495	B3U3G3	93.2	12630	B3U3G3	94.3	12725	B3U3G3	95.0	13225	B4U3G3	98.7	134
24L40T_-MDL018	12005	B3U3G3	103.5	12145	B3U3G3	104.7	12345	B3U3G3	106.4	12800	B3U3G2	110.3	116
24L30T_-MDL018	11445	B3U3G3	98.7	11580	B3U3G3	99.8	11770	B3U3G3	101.5	12205	B3U3G2	105.2	116
24L27T_-MDL018	10350	B3U3G3	89.2	10470	B3U3G3	90.3	10640	B3U3G3	91.7	11035	B3U3G2	95.1	116
24L40T_-MDL014	9780	B3U3G3	112.4	9850	B3U3G3	113.2	10025	B3U3G3	115.2	10390	B3U3G2	119.4	87
24L30T_-MDL014	9325	B3U3G3	107.2	9390	B3U3G3	107.9	9560	B3U3G3	109.9	9905	B3U3G2	113.9	87
24L27T_-MDL014	8430	B3U3G3	96.9	8490	B3U3G3	97.6	8640	B3U3G3	99.3	8955	B3U3G2	102.9	87
16L40T_-MDL014	6650	B2U3G2	112.7	6685	B2U3G2	113.3	6710	B2U3G2	113.7	6975	B3U3G2	118.2	59
16L30T_-MDL014	6340	B2U3G2	107.5	6375	B2U3G2	108.1	6400	B2U3G2	108.5	6650	B3U3G2	112.7	59
16L27T_-MDL014	5735	B2U3G2	97.2	5765	B2U3G2	97.7	5785	B2U3G2	98.1	6015	B3U3G2	101.9	59
12L40T_-MDL014	5010	B2U3G2	108.9	5030	B2U3G2	109.3	5030	B2U3G2	109.3	5285	B3U3G1	114.9	46
12L30T_-MDL014	4775	B2U3G2	103.8	4795	B2U3G2	104.2	4795	B2U3G2	104.2	5040	B3U3G1	109.6	46
12L27T_-MDL014	4320	B2U3G2	93.9	4335	B2U3G2	94.2	4335	B2U3G2	94.2	4555	B3U3G1	99.0	46
12L40T_-MDL008	3080	B1U3G1	114.1	3085	B1U2G1	114.3	3095	B1U2G1	114.6	3235	B2U2G1	119.8	27
12L30T_-MDL008	2935	B1U3G1	108.7	2940	B1U2G1	108.9	2950	B1U2G1	109.3	3085	B2U2G1	114.3	27
12L27T_-MDL008	2655	B1U3G1	98.3	2660	B1U2G1	98.5	2670	B1U2G1	98.9	2790	B2U2G1	103.3	27

Options



Solid Roof with NEMA Receptacle
(SRR7)



Button Photocell (PEC)



Fixed Dimming Resistor Board (FDRB)



Double Fuse Holder & (2) 3A Fuses
(FHD)

Fitters



5P Fitter
10-1/8" W x 10-3/8" H
Fits 3" OD x 3" tall tenon/pole



BD4 Fitter
10-1/8" W x 10-1/8" H
Fits 4" OD x 5" tall tenon/pole



BD5 Fitter
10-1/8" W x 10-1/4" H
Fits 5" OD x 6" tall tenon/pole



BD7 Fitter
10-1/8" W x 11-3/4" H
Fits 7" OD x 1" tall tenon/pole



588 Fitter
14-1/2" W x 14-1/4" H
Fits 3" OD x 3" tall tenon/pole



C2097 Fitter
10" W x 3-1/4" H
Fits 7" OD x 1" tall tenon/pole



992 Utility Fitter
10-1/2" W x 13-1/8" H
Fits 3" OD x 3" tall tenon/pole



991 Utility Fitter
10-1/2" W x 13-1/8" H
Fits 3" OD x 3" tall tenon/pole



OL3 (or OL4) Fitter
10-1/8" W x 10-3/8" H
Fits 3" (or 4") OD x 3" tall tenon/pole



990 (or 994) Utility Fitter
10-1/2" W x 15-3/4" H
Fits 3" (or 4") OD x 3" tall tenon/pole



993 (or 995) Utility Fitter
10-1/2" W x 15-3/4" H
Fits 3" (or 4") OD x 3" tall tenon/pole



73 (or 74) Fitter
9-3/4" W x 13-1/4" H
Fits 3" (or 4") OD x 4" tall tenon/pole

Caledonia Meadows PUD



Elevation A



Enclave
Select Series

3 Bedrooms | 2 Baths
1,556 Square Feet



Elevation A - Stone Upgrade



Enclave
Select Series

3 Bedrooms | 2 Baths
1,556 Square Feet



Elevation B



www.interrahomes.com
info@interrahomes.com



Elevation B - Stone Upgrade



www.interrahomes.com
info@interrahomes.com

Single Family Homes – Interra Enclave

Caledonia Meadows PUD



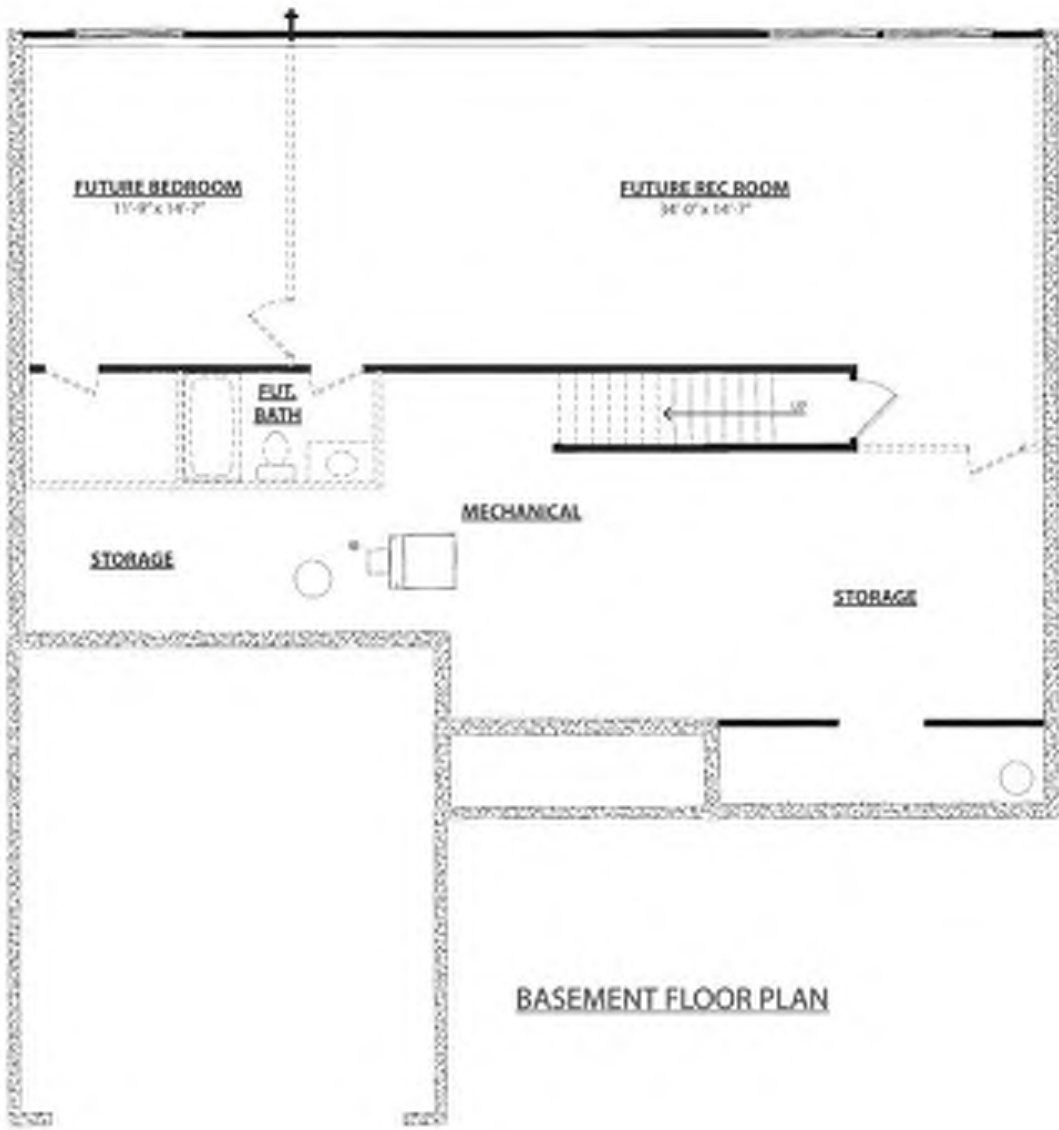
Enclave
Select Series

3 Bedrooms | 2 Baths
1,556 Square Feet



Enclave
Select Series

3 Bedrooms | 2 Baths
1,556 Square Feet



© 2013

DISCLAIMER: INTERRA HOMES, House Number/Design and Floor Plans are for illustrative purposes only. All room sizes and room layouts may vary. All room sizes are approximate. The floor plan is designed specifically for the house which includes the front elevation design and floor plans with actual design. It is not the contract between the buyer and seller. The design is the sole property of Interra Homes. It cannot be copied without written permission from Interra Homes.



www.interrahomes.com
info@interrahomes.com

© 2013

DISCLAIMER: INTERRA HOMES, House Number/Design and Floor Plans are for illustrative purposes only. All room sizes and room layouts may vary. All room sizes are approximate. The floor plan is designed specifically for the house which includes the front elevation design and floor plans with actual design. It is not the contract between the buyer and seller. The design is the sole property of Interra Homes. It cannot be copied without written permission from Interra Homes.



www.interrahomes.com
info@interrahomes.com

Caledonia Meadows PUD

JTB HOMES

Sycamore
Woodland Series

4 Bedrooms | 2.5 Baths
2,089 Square Feet



Elevation A



Elevation B

Experience. Quality. Excellence.

JTB HOMES

www.jtbhomes.com
info@jtbhomes.com

JTB HOMES

Sycamore
Woodland Series

4 Bedrooms | 2.5 Baths
2,089 Square Feet



Elevation C



Elevation D

Experience. Quality. Excellence.

JTB HOMES

www.jtbhomes.com
info@jtbhomes.com

Single Family Homes – JTB Sycamore

Caledonia Meadows PUD

JTB

HOMES

Sycamore

Woodland Series

4 Bedrooms | 2.5 Baths

2,531 Square Feet

JTB

HOMES

Sycamore

Woodland Series

4 Bedrooms | 2.5 Baths

2,531 Square Feet



Caledonia Meadows PUD

JTB

HOMES

Sycamore

Woodland Series

4 Bedrooms | 2.5 Baths

2,531 Square Feet



Elevation A



Elevation B

© 2019

Experience. Quality. Excellence.

JTB

HOMES

www.jtbhomes.com

info@jtbhomes.com

JTB

HOMES

Sycamore

Woodland Series

4 Bedrooms | 2.5 Baths

2,531 Square Feet



Elevation C



Elevation D

© 2019

Experience. Quality. Excellence.

JTB

HOMES

www.jtbhomes.com

info@jtbhomes.com

Caledonia Meadows PUD

JTB HOMES

Sycamore
Woodland Series

4 Bedrooms | 2.5 Baths
2,531 Square Feet

JTB HOMES

Sycamore
Woodland Series

4 Bedrooms | 2.5 Baths
2,531 Square Feet



Caledonia Meadows PUD

JTB HOMES

Redwood
Woodland Series

4 Bedrooms | 2.5 Baths
2,547 Square Feet



Elevation A



Elevation B

Experience. Quality. Excellence.

JTB HOMES

www.jtbhomes.com
info@jtbhomes.com

JTB HOMES

Redwood
Woodland Series

4 Bedrooms | 2.5 Baths
2,547 Square Feet



Elevation C



Elevation D

Experience. Quality. Excellence.

JTB HOMES

www.jtbhomes.com
info@jtbhomes.com

Single Family Homes – JTB Elmwood

Caledonia Meadows PUD

JTB

HOMES

Redwood
Woodland Series

4 Bedrooms | 2.5 Baths
2,034 Square Feet



JTB

HOMES

Redwood
Woodland Series

4 Bedrooms | 2.5 Baths
2,034 Square Feet



JTB

HOMES

Experience. Quality. Excellence.

www.jtbhomes.com
info@jtbhomes.com

JTB

HOMES

Experience. Quality. Excellence.

www.jtbhomes.com
info@jtbhomes.com



GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF
ENVIRONMENT, GREAT LAKES, AND ENERGY
WATER RESOURCES DIVISION



PHILLIP D. ROOS
DIRECTOR

January 26, 2026

VIA EMAIL

Duke Suwyn
DHS Holdings LLC
3333 Deposit Drive NE
Suite 330
Grand Rapids, Michigan 49546

Dear Duke Suwyn:

SUBJECT: Wetland Identification Report:
MiEnviro Site Name: 41-3805 92nd Street-Gaines Twp
MiEnviro WIP Application Submission Number: HQF-A3VE-BKWCB

The Department of Environment, Great Lakes, and Energy's (EGLE), Water Resources Division (WRD) conducted a Level 3 Wetland Identification Program (WIP) review of an assessment area consisting of approximately 94 acres on property (41-22-23-401-002, 41-22-23-476-002, and 41-22-23-476-003) located in Town 05N, Range 11W, Section 23; Gaines Township (Figure 1) during October 29, 2025. The review was conducted in accordance with Part 303, Wetlands Protection, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA); and Rule 4(1), Wetland Identification and Assessment (R 281.924), of the Administrative Rules for Part 303. This is a report of our findings in response to your WIP application.

Staff from the WRD reviewed pertinent information such as historical aerial imagery, topographic mapping data, soils survey data, antecedent precipitation analysis results, and surface hydrology data. The on-site investigation was conducted with your wetland consultant present and included a review of plants, hydrology, and soils.

Staff confirm the wetland boundary lines that had been delineated by your consultant. The site map (Figure 2) of the WIP assessment area was created by combining information from your consultant and the WRD. The new map identifies areas containing regulated wetland, unregulated wetland, and non-wetland (upland).

Wetland G within the assessment area is regulated by the WRD because of wetland size and/or contiguity to a pond, lake, or stream. For the area [approx. 0.02-acre total on site] identified as regulated wetland on the site map (Figure 2), please be advised that any of the following activities require a permit under Part 303:

- a) Deposit or permit the placing of fill material in a regulated wetland.

- b) Dredge, remove, or permit the removal of soil or minerals from regulated wetland.
- c) Construct, operate, or maintain any use or development in a regulated wetland.
- d) Drain surface water from a regulated wetland.

The unregulated wetlands are not regulated by the WRD because they are not contiguous to the Great Lakes, an inland lake or pond, or a river or stream; and are less than five acres in size. For those areas identified as non-wetland (upland) on the site map (Figure 2), the WRD lacks jurisdiction under Part 303 for activities occurring there.

This Wetland Identification Report is limited to findings pursuant to Part 303 and does not constitute a determination of jurisdiction under other programs administered by EGLE. Any land use activities undertaken within the assessment area may be subject to regulation pursuant to the NREPA under Part 91, Soil Erosion and Sedimentation Control.

Please be aware that this Wetland Identification Report does not constitute a determination of the jurisdiction under local ordinances or federal law. The United States Army Corps of Engineers (USACE) retains regulatory authority over certain wetlands pursuant to Section 404 of the federal Clean Water Act (CWA), and specifically those wetlands associated with traditionally navigable waters of the state. Navigable waters are generally the Great Lakes, their connecting waters, and river systems and lakes connected to these waters. In other areas of the state, the WRD is responsible for identification of wetland boundaries for purposes of compliance with the CWA under an agreement with the United States Environmental Protection Agency. Your assessment area is unlikely to be within those areas also regulated by the USACE. Additional information may be obtained by contacting the USACE at 313-226-2218.

You may request the WRD reassess the wetland boundaries and regulatory status of wetlands within any portion of the assessment area, should you disagree with the findings, within 60 days of the date of this report. A written request to reassess the Wetland Identification assessment area must be accompanied by supporting evidence with regard to wetland vegetation, soils, or hydrology that are different from, or in addition to, the information relied upon by WRD staff in preparing this report. The request should be submitted to:

Wetland Identification Program
Department of Environment, Great Lakes, and Energy
Water Resources Division
P.O. Box 30458
Lansing, Michigan 48909-7958

Please use the MiEnviro submission number assigned to this project site if submitting a permit application or otherwise corresponding with our office.

January 26, 2026

The findings contained in this report do not convey, provide, or otherwise imply approval of any governing act, ordinance, or regulation, nor does it waive the obligation to acquire any applicable federal, state, county, or local approvals. This Wetland Identification Report is not a permit for any activity that requires a permit from EGLE.

The findings contained in this report are binding on EGLE until January 26, 2029, a period of three years from the date of this Wetland Identification Report unless a reassessment has been conducted. Please contact me at GyekisK@Michigan.gov; or EGLE, P.O. Box 30458, Lansing, Michigan 48909-7958, if you have any questions regarding this report.

Sincerely,

A handwritten signature in black ink, reading "Keto Gyekis". The signature is fluid and cursive, with the first name "Keto" being more prominent and the last name "Gyekis" following in a similar style.

Keto Gyekis
Wetland Identification Program Coordinator
Water Resources Division

Enclosures

cc: Gaines Township Clerk
Kent County Soil Erosion Enforcement Agent (CEA)
Kent County Health Department
Matt MacGregor, Barr Engineering Michigan LLC
Audrie Kirk, EGLE
Meghan Sulka, EGLE

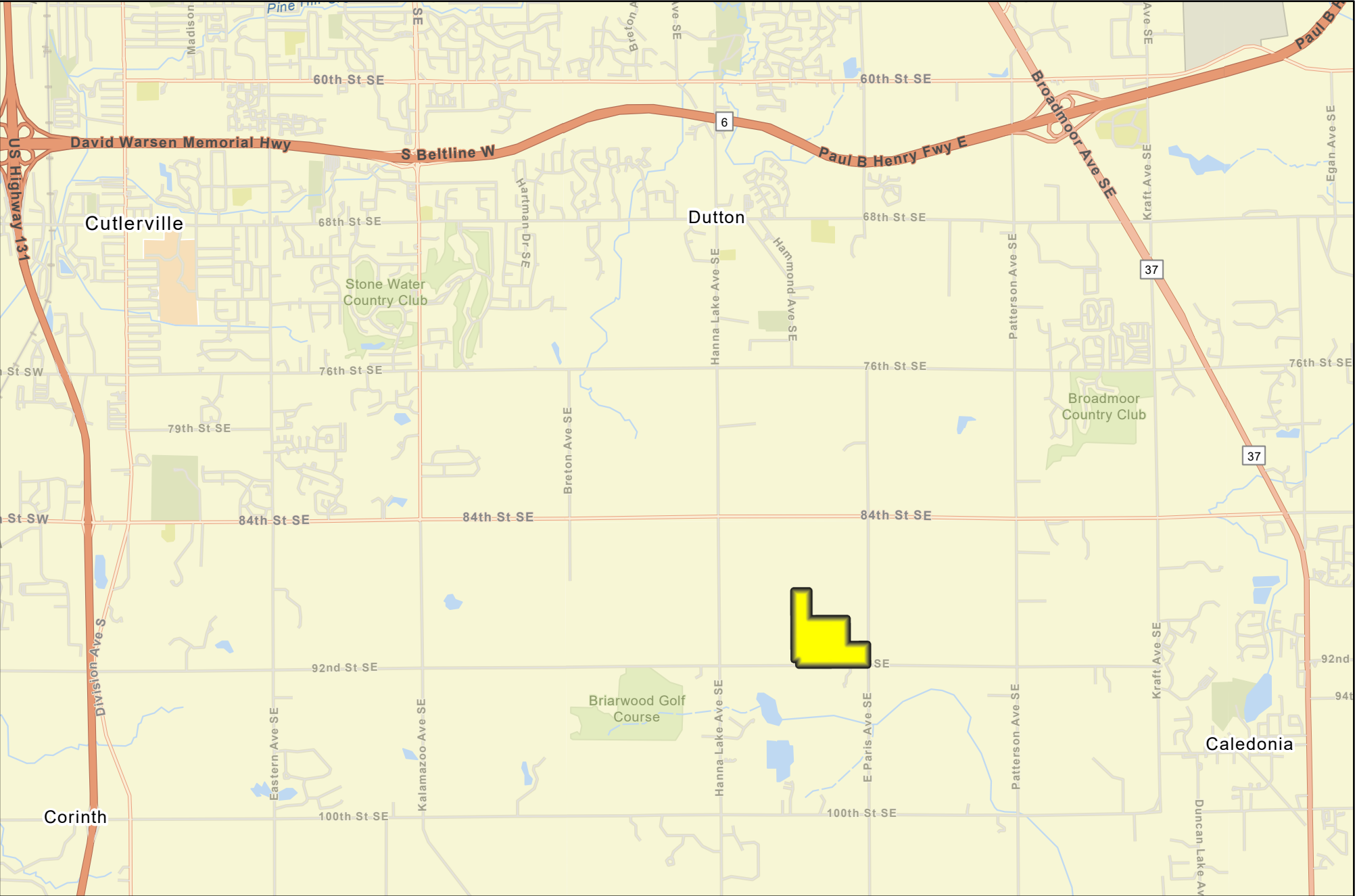


Figure 1. | EGLE WIP Site Location
3805 92nd Street
Gaines Twp
WIP - HQF-A3VE-BKWCB



WIP Assessment Area

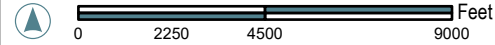




Figure 2. | EGLE WIP Site Detail
3805 92nd Street
Gaines Twp
WIP - HQF-A3VE-BKWCB



-  WIP Assessment Area
-  Regulated Wetland, Part 303 of NREPA
-  Unregulated Wetland, Part 303 of NREPA
-  NHD Stream

This drawing showing those areas containing wetland and not containing wetland is an approximation of the boundaries flagged on-site.

This drawing does not authorize or permit activities requiring a permit in accordance with Part 303 of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended.

EGLE
 MICHIGAN DEPARTMENT OF
 ENVIRONMENT, GREAT LAKES, AND ENERGY

Map created: Jan. 2026
 K. Gyekis,
 Wetlands, Lakes,
 and Streams Unit, EGLE WRD



Vriesman
& Korhorn

April 15, 2026
1199

Via Email: dan.wells@gainestownship.org

Dan Wells, Community Development Director
Gaines Charter Township
8555 Kalamazoo Ave SE
Caledonia, MI 49316

RE: Caledonia Meadows Preliminary PUD Site Condominium – Site Plan Review
3805 92nd Ave, Section 23, Gaines Charter Township

Dear Dan:

We have reviewed the preliminary site plan and stormwater management calculations that we received on April 1, 2026. We provide the following comments for the consideration of the Planning Commission and the Applicant:

1. The Applicant is proposing to serve the development with a community septic system. Our understanding of how this community septic system would work is that each individual homesite would have a septic tank installed on their property. The effluent from each septic tank would then be pumped by a grinder pump into a small diameter forcemain. The small diameter forcemain(s) would then discharge into an equalization tank, followed by a dosing tank. The wastewater would then be pumped into a community drain field. We have reservations recommending that the Township approve the development based on the information that has been submitted. The plans dated March 26, 2026 have more details on the proposed community drain field and dosing system than previous submittals for this project in 2024, but questions remain. Information has not been provided regarding the long-term operation and maintenance of the system. We recommend that the Applicant provide additional information and details regarding all parts of the community septic system for review by the Planning Commission and the Township Engineer. We recommend that soil boring information be included with future submittals.
2. We have concerns with how the proposed design flows of the community septic system (STEP system) are being determined for the basis of design. Our understanding is that the design methodology for community septic systems outlined by the EGLE and/or Kent County Health Department (KCHD) uses the number of bedrooms in a home as the basis for sewage contribution. In previous correspondence with EGLE from 2024 when this project was first submitted, it was stated that a peaking factor of 1.3 should be used for a system of this size. In our opinion, an average daily flow for a development of this size

would be around a minimum of 18,000 gpd (4 bedroom homes with a contribution of 150gpd/bedroom), which would correspond to a peak flow of 20,280 gpd. The assumptions made in the current basis of design (2.54 people/home and 60gpd/person) seem overly conservative. The Applicant shall provide the anticipated number of bedrooms in each home.

3. We recommend that, should a STEP system be approved for the community wastewater disposal system, all of the homesites be required to use the same equipment for ease of long-term maintenance. The equipment proposed to be used for this development shall be submitted to the Township for review prior to final approval of the development. Pump design information such as a system curves, pump curves, calculated heads, and design points for both the individual grinder pumps and the equalization tank pumps shall be provided. Dosing tank control panel information shall be submitted as soon as it is available for the project.
4. We note that based on KCHD rules each unit would require a septic tank with a minimum volume of 1,450 gallons and that the primary community septic system tank should have a minimum volume equal to the average day flow volume.
5. The Applicant's Engineer shall submit manufacturer information showing the proposed Eljen GSF dispersal system can handle a loading rate of 1.0 gpd/sft.
6. The Applicant's Engineer shall submit plans showing all design information necessary to construct the proposed 2-inch private forcemain. We note that sizing calculations demonstrating a 2-inch diameter forcemain will have the capacity needed to serve a development of this size shall be submitted.
7. We recommend that the approval of the proposed development and the proposed community wastewater disposal system be contingent upon the review and approval of the long-term maintenance agreement by the Township's Attorney.
8. We recommend that a special assessment district be established at this time for the Township to be able to recover future expenses associated with the maintenance, operation, repair, and/or replacement of the community wastewater disposal system.
9. Individual wells are proposed to serve each site condominium unit in this development. A permit shall be acquired from the Kent County Health Department for the installation of each well.
10. A private street is proposed which requires the review and approval of the Township Engineer and the Fire Department. The Kent County Road Commission (KCRC) will need to review and approve of the private street connection to the public road system. We note at this time that concrete curb meeting the requirements of the KCRC shall be installed around the "bulb" of the cul-de-sac.

11. We recommend that the Planning Commission require sidewalk be constructed along the project's frontage on 92nd Street.
12. The Applicant's Engineer will be required to provide a certification of compliance of Private Street Standards upon the completion of construction including density testing at the frequency specified in the KCRC Standards and Specifications for Plat Street Development.
13. The Applicant shall submit a private street easement for review and approval prior to recording.
14. The Applicant shall submit a private street maintenance agreement for review and approval to the Township Attorney. The Applicant shall file a final approved copy of the maintenance agreement with the Township and our office in addition to meeting the recording requirements.
15. Lots not directly adjacent to the detention pond(s) are required to have a storm sewer lead to dispose of water from eave trough down spouts, roof drains, and sump pumps. Storm sewer leads should not be connected through tees into storm sewers under pavement. Storm leads in the road shall be provided from manholes or catchbasins.
16. The design of the stormwater management system is required to meet all the requirements of the Township's Stormwater Ordinance, and the design standards established by the Kent County Drain Commissioner's office. We note that the property does have a positive outlet at the southeast corner of the parent parcel.
17. The Applicant's Engineer shall design a detention pond that has both a primary overflow outlet and emergency overland flow route away out of the pond. Both pond outlets shall be designed to convey the 10-year peak site discharge as determined by the LGROW spreadsheet.
18. The Applicant's Engineer shall review KCDC design requirements for wet detention ponds. The current shape of the pond will result in significant water stagnation.
19. The Applicant's Engineer shall clarify how the runoff entering the north wet pond will reach the outlet at the southeast corner. Currently a berm is proposed through the middle of the pond, and no connecting pipes are provided.
20. Calculations shall be submitted demonstrating the depth of overland flow through entrapped backyard areas, specifically for units 18 through 22 and 25 through 28. The MBOs of the units adjacent to these floodways shall be set a minimum of 1-foot above the 100-year flood level in the backyards.
21. The MBOs of units adjacent to the detention pond shall have their MBOs set 1-foot above the maximum water level through the emergency overflow outlet.

22. The Applicant's Engineer shall label the MBO for each lot on the grading plan.
23. In the past, the Township and our office have received flooding complaints from property owners located north of proposed detention pond #2. We recommend that the Applicant explore improvements to discharge the stormwater from this proposed development to the Schooley Drain.
24. Additional drainage improvements may be needed for the continuation of drainage from off-site areas located to the west of the proposed development. The drainage area to the west of the proposed development is not fully accounted for in calculations submitted by the Applicant's Engineer.

Thank you for your consideration in this matter. If you have any questions or concerns, please do not hesitate to call.

Sincerely,

VK Civil



Jeffrey M. Gritter, P.E.

JMG/nfb

- c. Bob Terpstra, Supervisor
Connie Giarmo, Planning Commission Chair
Rod Weersing, Township Manager
John Stuyfzand, Building Inspector
Tracy Lawrence, Water & Sewer Administrator
Ken Van Hall, Fire Chief
Pat Quick, Fire Marshall
Jason Buck, Kent County Health Department
Leslie Sorensen, P.E., EGLE
Erik Easterly, P.E., Kent County Road Commission
Dave Beck, Kent County Road Commission
Paul Henderson, P.E., Roosien & Associates



Gaines Charter Township Fire Department Inspection Report

Plan Review-Site Plan Inspection Result

Inspection Status

Completed

Inspected by

24-53 - Pat Quick

Completed at

04/13/2026

Business Name	Address	Suite	City	Zip
Caledonia Meadows	3805 92nd Street Southeast	--	Caledonia	49316

Introduction:

ITEM: REVIEW REQUIREMENTS We have reviewed your plans for the above facility. The following items are noted for compliance with code requirements. Code references to the International Fire Code 2024, as amended, are noted IFC; references to the Michigan/International Building Code are noted MBC; references to National Fire Protection Association codes and standards are noted NFPA. Please review the appropriate code for further details. All construction and processes must meet applicable code provisions.

RESULT: Plan Review

REMARK:

30 parcel single family home subdivision.

General Construction and Demolition:

ITEM: VEHICLE ACCESS Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility. Fire apparatus access roads shall be installed and arranged in accordance with sections 503.2.1 through 503.2.8. Where fire apparatus access roads or a water supply for fire protection are required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except where approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection where construction of new roadways allow passage by vehicles in accordance with section 505.2 (IFC 501.4, 503.1.1, 503.4)

RESULT: Plan Review

REMARK:

Street shall comply with Gaines Twp. ordinance for private streets as well as fire code.

ITEM: STREET or ROAD SIGNS Streets and roads shall be identified with approved signs. Temporary signs shall be installed at each intersection when construction of new roadways allow passage by vehicles. Signs shall be of approved size, weather resistant and be maintained until replaced by permanent signs. (IFC 505.2)

RESULT: Plan Review

REMARK:

Signs shall comply with Gaines Twp. ordinance and Kent County Road Commission requirements as well as the fire code.

ITEM: TRAFFIC CALMING DEVICES PROHIBITED Traffic calming devices shall be prohibited unless approved by the fire code official (IFC 503.4.1)

RESULT: Plan Review

Closing:

ITEM: SUBJECT TO FIELD INSPECTION There may be additional requirements as a result of conditions found during inspections. Call the Gaines Township Fire Department at 616-893-2906 at least 24 hours in advance to schedule inspections.

RESULT: Plan Review

Plans Approved or Denied:

ITEM: PLAN APPROVAL Any changes must be reviewed and approved by the Gaines Township Fire Department. All construction and processes must meet applicable codes and standards.

RESULT: Approved

Inspection Signatures

Inspector Signature

A handwritten signature in black ink, appearing to read 'Pat Quick', written in a cursive style.

24-53 - Pat Quick
Fire Marshal
Deputy Chief

--

pat.quick@gainestownship.org